

Transmittal History				
Issue	Drawing ID	Name	Revision	Changes
01, Transmittal Set, 16/10/2025 11:55 AM	1	3D ELEVATIONS	01	
	2	COMPILATION NOTES	01	
	3	SITE PLAN	01	
	4	GF SLAB LAYOUT	01	
	5	UF SLAB LAYOUT	01	
	6	ROOF TERRACE SLAB LAYOUT	01	
	7	GF FLOOR PLAN	01	
	8	UF FLOOR PLAN	01	
	9	ROOF TERRACE FLOOR PLAN	01	
	10	ELEVATIONS	01	
	11	ELEVATIONS	01	
	12	GF ELECTRICAL	01	
	13	UF ELECTRICAL	01	
	14	ROOF TERRACE ELECTRICAL	01	
	15	SECTION	01	
	16	DETAILS	01	
	17	INTERNAL LAYOUTS	01	
	18	INTERNAL LAYOUTS	01	
	19	WINDOWS & DOORS SCHEDULE	01	
	20	3D PERSPECTIVES	01	
	21	3D PERSPECTIVES	01	
02, Transmittal Set, 5/11/2025 11:17 AM	17	STAIR LAYOUT	02	Ch-01
03, Transmittal Set, 6/02/2026 1:32 PM	4	GF SLAB LAYOUT	02	Ch-02
	7	GF FLOOR PLAN	02	Ch-02
	12	GF ELECTRICAL	02	Ch-02
	13	UF ELECTRICAL	02	Ch-02
	18	INTERNAL LAYOUTS	02	Ch-02
	19	INTERNAL LAYOUTS	02	Ch-02
	20	WINDOWS & DOORS SCHEDULE	02	Ch-02
04, Transmittal Set, 25/02/2026 2:26 PM	8	UF FLOOR PLAN	02	Ch-03
	10	ELEVATIONS	02	Ch-03
	20	WINDOWS & DOORS SCHEDULE	03	Ch-03
05, Transmittal Set, 3/03/2026 9:53 AM	3	SITE PLAN	02	Ch-04
	7	GF FLOOR PLAN	03	Ch-04
	12	GF ELECTRICAL	03	Ch-04
06, Transmittal Set, 6/03/2026 2:08 PM	10	ELEVATIONS	03	Ch-05
	11	ELEVATIONS	02	Ch-05
	15	SECTION	02	Ch-05





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SHEET

3D ELEVATIONS

PROJECT

1 CASUARINA CRESCENT, JURIEEN BAY

REV

A17

INITIAL DESIGNER

DR

DATE PRINTED

6/03/2026

PAPER PRINTED

@A3

DRAWING No.

1 of 22

DESIGN COMPLIANCE SPECIFICATION

THIS SPECIFICATION IS TO BE READ IN CONJUNCTION WITH THE CERTIFICATE OF DESIGN COMPLIANCE, FINAL ARCHITECTURAL DRAWINGS, BUILDER'S SPECIFICATIONS, AND ANY TECHNICAL CERTIFICATES (ENERGY EFFICIENCY DOCUMENTATION, STRUCTURAL ENGINEERS' DRAWINGS).

IT IS THE RESPONSIBILITY OF THE BUILDING PERMIT OWNER (BUILDER) TO ENSURE ALL CONDITIONS OF THIS SPECIFICATION, AS STATED UNDER SECTION 3, ARE STRICTLY ADHERED TO. DEVIATION FROM THE PRESCRIBED CERTIFICATION CONDITIONS WOULD RENDER THE WORKS NON-COMPLIANT, AND FURTHER APPROVALS MAY BE REQUIRED BEFORE WORKS MAY CONTINUE.

1. BUILDING CHARACTERISTICS

- BUILDING DESCRIPTION: RESIDENTIAL DWELLING
- BUILDING CLASSIFICATION: CLASS 1a, 10a, 10b

2. PRECAUTIONS DURING CONSTRUCTION

- ANY WORKS THAT MAY ADVERSELY AFFECT LAND ON ADJOINING PROPERTY, OR THAT ENCROACH BEYOND THE BOUNDARIES OF THE WORKS LAND, MUST NOT BE UNDERTAKEN WITHOUT THE RELEVANT NECESSARY CONSENTS BEING OBTAINED, AS REQUIRED BY PART 6 DIVISION 2 OF THE BUILDING ACT 2011. IN ACCORDANCE WITH PART 6 DIVISION 3 OF THE BUILDING ACT 2011, NOTABLE EVENTS THAT REQUIRE SUCH CONSENTS ARE IDENTIFIED AS -
- A. PART OF A BUILDING OR STRUCTURE IS PLACED INTO, ONTO OR OVER LAND BEYOND THE BOUNDARIES OF THE WORKS LAND;
 - B. LAND BEYOND THE BOUNDARIES OF THE WORKS LAND IS ADVERSELY AFFECTED;
 - C. A PROTECTION STRUCTURE IS PLACED INTO OR ONTO LAND BEYOND THE BOUNDARIES OF THE WORKS LAND;
 - D. THE STRUCTURAL, WATERPROOFING, OR NOISE INSULATION CAPACITY OF A PARTY WALL OR A SUBSTANTIAL DIVIDING FENCE SHARED WITH THE WORKS LAND, OR A BOUNDARY RETAINING WALL THAT PROTECTS LAND BEYOND THE BOUNDARIES OF THE WORKS LAND, IS AFFECTED;
 - E. A FENCE, GATE OR OTHER BARRIER TO LAND ON OR BEYOND THE BOUNDARIES OF THE WORKS LAND IS REMOVED;
 - F. IN DOING THE WORK A PERSON GOES ONTO OTHER LAND.

- AS PER THE TERMS DEFINED IN THE BUILDING ACT 2011, ADVERSELY AFFECT LAND INCLUDES
- A. REDUCE THE STABILITY OR BEARING CAPACITY OF THE LAND OR A BUILDING OR STRUCTURE ON THE LAND; OR
 - B. DAMAGE, OR REDUCE THE STRUCTURAL ADEQUACY OF, A BUILDING OR STRUCTURE ON THE LAND; OR
 - C. THE CHANGING OF THE NATURAL SITE DRAINAGE IN A WAY THAT REDUCES THE EFFECTIVENESS OF THE DRAINAGE OF THE LAND OR EXISTING OR FUTURE BUILDINGS OR STRUCTURES ON THE LAND.

3. CONDITIONS OF COMPLIANCE

- 1. A NOTICE AND REQUEST FOR CONSENT TO WORK AFFECTING OTHER LAND (BA20A FORM) IS TO BE OBTAINED PRIOR TO COMMENCEMENT OF CONSTRUCTION WHERE:
 - THERE IS A NEED TO REMOVE A DIVIDING FENCE (S 80 OF THE BUILDING ACT 2011).
 - ACCESS THE ADJOINING LAND IS REQUIRED (S 81 OF THE BUILDING ACT 2011).
 - WORK AFFECTS A PARTY WALL, SUBSTANTIAL DIVIDING FENCE OR A BOUNDARY RETAINING WALL (S79 OF THE BUILDING ACT 2011).
- 2. ALL MATERIALS AND WORKMANSHIP TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS, APPLICABLE CONSTRUCTION MANUALS AND NCC PART.
- 3. ANY WORKS SHOWN AS "FUTURE" OR "PART OF NEXT STAGE" OR MARKED AS SUCH ON THE APPROVED PLANS ARE NOT INCLUDED IN THIS APPROVAL. THESE WORKS MAY REQUIRE SEPARATE CERTIFICATE OF DESIGN COMPLIANCE APPROVAL.
- 4. CONCRETE TO COMPLY WITH AS 3600.
- 5. ALL STORMWATER MUST BE CONTAINED ON-SITE AND BE DESIGNED & INSTALLED IN ACCORDANCE WITH AS 3500.3.
- 6. TIMBER FRAMING MUST ADHERE TO AS 1684 PART 1 OR PART 2, AS APPLICABLE TO THE WIND REGION (CYCLONIC OR NON-CYCLONIC).
- 7. METAL SHEET ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH AS 1562.1.
- 8. ALL GLAZING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH AS 2047 AND AS 1288, AS APPLICABLE.
- 9. MECHANICAL VENTILATION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH AS 1668. EXHAUST SYSTEMS WITHIN ANY KITCHEN, LAUNDRY, BATHROOM OR SANITARY COMPARTMENT MUST BE DESIGNED AND INSTALLED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS, PART 10.6.2.
- 10. HARD-WIRED, INTERCONNECTED SMOKE ALARMS MUST BE INSTALLED IN ACCORDANCE WITH ABCB HOUSING PROVISION, PART 9.5 AND AS 3786. SMOKE ALARMS ARE TO BE INSTALLED BETWEEN THE KITCHEN AND SLEEPING AREAS FOR GROUND FLOOR DWELLINGS AND MUST BE INSTALLED BETWEEN THE KITCHEN AND SLEEPING AREAS AND THE TOP & BOTTOM OF ANY INTERNAL CONNECTING STAIRWAYS IN DWELLING MORE THAN SINGLE STOREY.

- 11. PROTECTIVE COATINGS FOR STEELWORK MUST COMPLY WITH ABCB HOUSING PROVISIONS, PART 6.3.9.
- 12. WATERPROOFING OF WET AREAS MUST COMPLY WITH ABCB HOUSING PROVISIONS, PART 10.2.
- 13. WEATHERPROOFING OF MASONRY MUST COMPLY WITH ABCB HOUSING PROVISIONS, PART 5.7.
- 14. VAPOR BARRIERS AND DAMP-PROOF MEMBRANES MUST COMPLY WITH ABCB HOUSING PROVISIONS, PART 4.2.8.
- 15. PHYSICAL TERMITE BARRIERS MUST SATISFY THE INSTALLATION REQUIREMENTS OF AS 3660.1 AND BE INSTALLED ALONG THE EXTERNAL BOUNDARY WALLS.

IF SPRAY TERMITE BARRIER IS TO BE USED, REFER TO APPROVED NCC PERFORMANCE SOLUTION.
- 16. A DURABLE NOTICE, FOR THE REGISTRATION OF PESTICIDES (TERMITE TREATMENT) MUST BE FIXED TO THE BUILDING IN A PROMINENT AND ACCESSIBLE LOCATION - PREFERABLY THE EXTERNAL ELECTRICAL DISTRIBUTION/METER BOX.
- 17. THE CONCRETE SLAB SHALL BE CONSTRUCTED IN ACCORDANCE WITH AS 2870, WITH TERMITE COLLARS ON ANY PIPE PENETRATIONS THROUGH THE SLAB.
- 18. UPPER FLOOR BEDROOM WINDOWS, WHERE THE SILL IS LESS THAN 1.7M ABOVE THE FINISHED FLOOR LEVEL (OF THE EXTERNAL SURFACE) MUST BE PROTECTED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS, PART 11.3.7.
- 19. THICKNESS AND TYPE OF GLAZING SHALL BE SELECTED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS, PART 8.
- 20. DOWNPIPES WILL BE INSTALLED TO THAT THEY DO NOT SERVE MORE THAN 12M OF GUTTER EACH AND LOCATED AS CLOSE AS POSSIBLE TO VALLEYS. THE SIZE OF DOWNPIPES AND GUTTER SHALL ADHERE WITH ABCB HOUSING PROVISIONS, PART 7.4.5.
- 21. RESIDENTIAL CROSSTOVERS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE LOCAL AUTHORITY'S GUIDELINES/POLICY.
- 22. CONSTRUCTION OF STAIRS SHALL ADHERE WITH ABCB HOUSING PROVISIONS, PART 11.2. PARTICULARS INCLUDE -

- NOT MORE THAN 18 & NOT LESS THAN 2 RISERS IN EACH FLIGHT.
- GOING IN RISER DIMENSIONS IN ACCORDANCE WITH TABLE 11.2.2a.
- CONSTANT GOING & RISER DIMENSIONS.
- NO OPENINGS GREATER THAN 125MM.

- 23. CARE IS TO BE TAKEN SO AS NOT TO UNDERMINE ANY EXISTING STRUCTURES ON THE ADJOINING PROPERTIES.
- 24. THE EXTERNAL FINISHED SURFACE SURROUNDING THE SLAB ON GROUND MUST BE DRAINED TO MOVE SURFACE WATER AWAY FROM THE BUILDING. TYPICALLY, THE FINISHED SURFACE MUST BE GRADED 50MM OVER THE FIRST 1M FROM THE BUILDING. ALTERNATIVELY, THE SLAB ON GROUND MUST BE FINISHED AT A HEIGHT OF NO LESS THAN 100MM ABOVE THE FINISHED GROUND LEVEL (INCREASED TO 150MM IN CLAY AREAS).

IF FLUSH THRESHOLD, REFER TO APPROVED NCC PERFORMANCE SOLUTION.
- 25. DOORS TO ROOMS WITH A TOILET, WHERE THERE IS NOT 1.2M CLEARANCE BETWEEN THE DOOR AND THE TOILET, WILL BE PROVIDED WITH LIFT-OFF HINGES.
- 26. SELECTED TIMBER & COMPOSITE WALL/FAÇADE CLADDING MUST BE SELECTED AND INSTALLED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS, PART 7.5.
- 27. OPENINGS IN EXTERNAL WALL CLADDING MUST BE FLASHED WITH MATERIALS COMPLYING WITH ABCB HOUSING PROVISIONS, PART 7.5.6 AND AS/NZS 2904.
- 28. BUILDING ELEMENTS IN WET AREAS MUST BE WATERPROOF AND WATER RESISTANT IN ACCORDANCE WITH ABCB HOUSING PROVISIONS, PART 10.2.
- 29. FOR SINGLE SKIN FRAMED EXTERNAL WALLS, A PLIABLE BUILDING MEMBRANE MUST BE INSTALLED. THIS MEMBRANE MUST COMPLY WITH AS/NZS 4200.1, BE INSTALLED IN ACCORDANCE WITH AS 4200.2, AND BE LOCATED ON THE EXTERIOR SIDE OF THE INSULATION LAYER OF WALL ASSEMBLIES THAT FORM THE EXTERNAL BUILDING ENVELOPE.
- 30. WALL CLADDING SYSTEMS SHALL CONFORM WITH THE SELECTED MANUFACTURERS INSTALLATION GUIDE.

UPDATED: 01/05/2025

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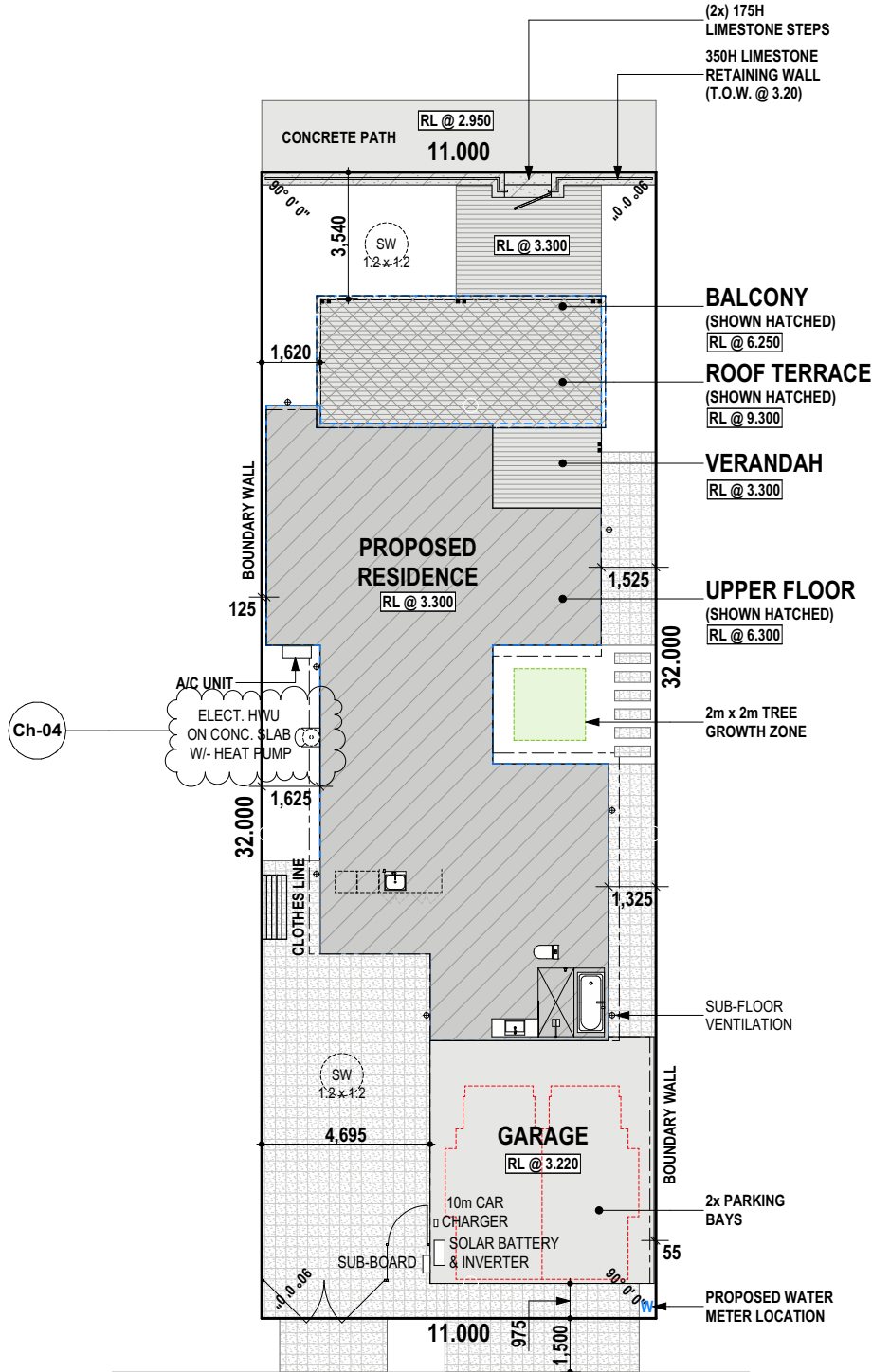


SITE COVERAGE

ZONED	R40
% ALLOWED	55%
SITE AREA	352.00m ²
SITE COVER	164.75m ²

SITE COV. =46.8%

Soak Well Type	No.	
SW 1200x1200	2	2.7 m3
Total Capacity		2.7 m3
Roof Area GF		41.7 m2
Roof Area UF		135.2 m2
Roof Area 3rd		29.7 m2
Total Area		206.6 m2
Capacity Required (Area x 0.0125)		2.6 m3
Extra Capacity Provided		0.1 m3



BAY VIEW
6m ROAD

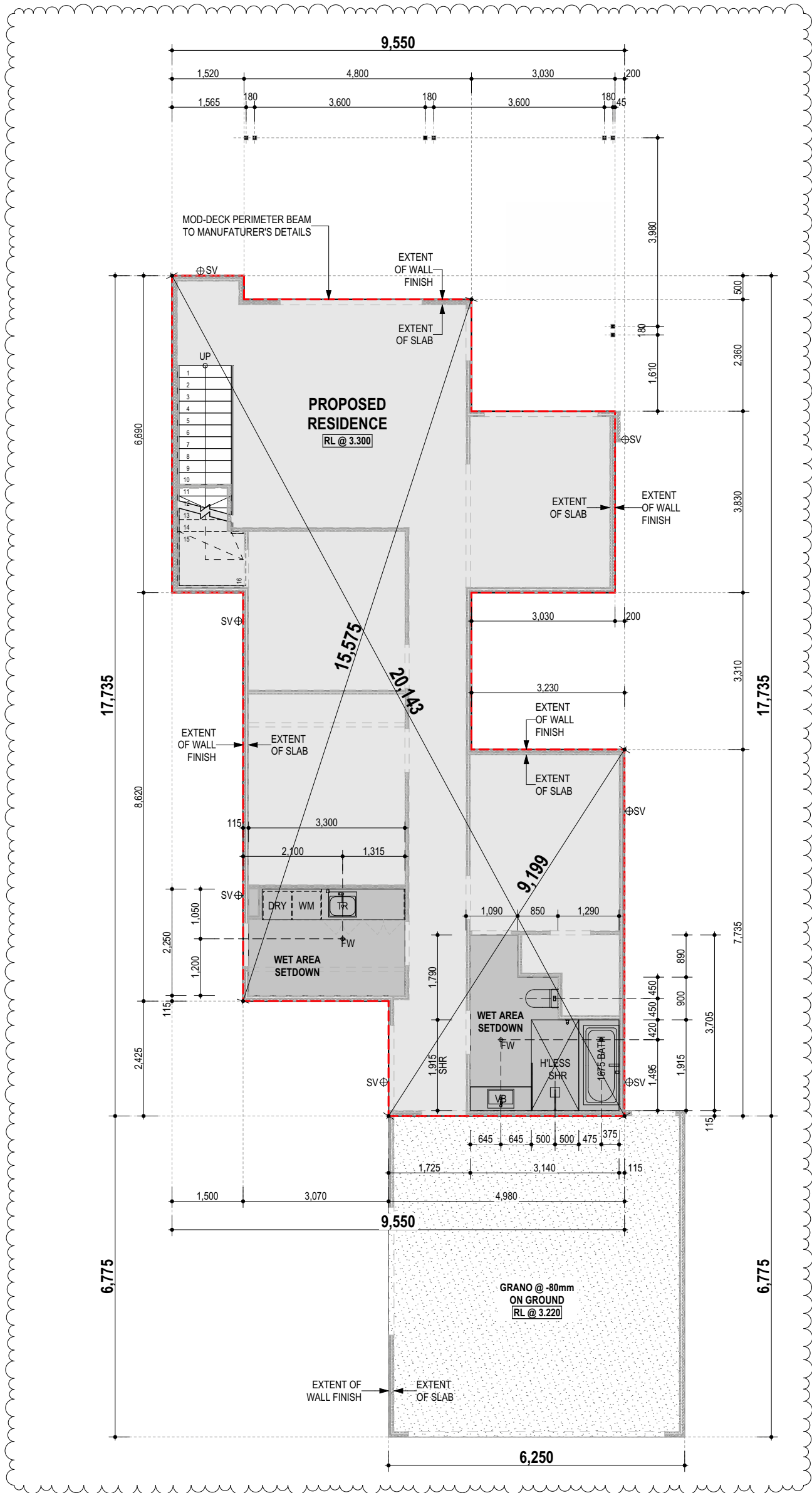
SITE PLAN
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TYPE A LOT - BAY VIEW VILLA

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CLIENT NAME	JURIEN BAY RESORT PTY LTD, 10 DAVENPORT STREET, KARRINYUP, WA 6018. C/O TOM TIERNEY

SHEET	SITE PLAN
INITIAL DESIGNER DR	DATE PRINTED 6/03/2026
PAPER PRINTED @A3	DRAWING No. 3 of 22



Ch-02

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- SETOUT NOTES:**
- SLAB & PLUMBING SETOUT MEASURED FROM EDGE OF SLAB

- TERMITE MANAGEMENT NOTE:**
- TERMITE TREATMENT TO COMPLY WITH BCA 3.1.4 AND AS3660.1 INCLUDING BOUNDARY TREATMENT

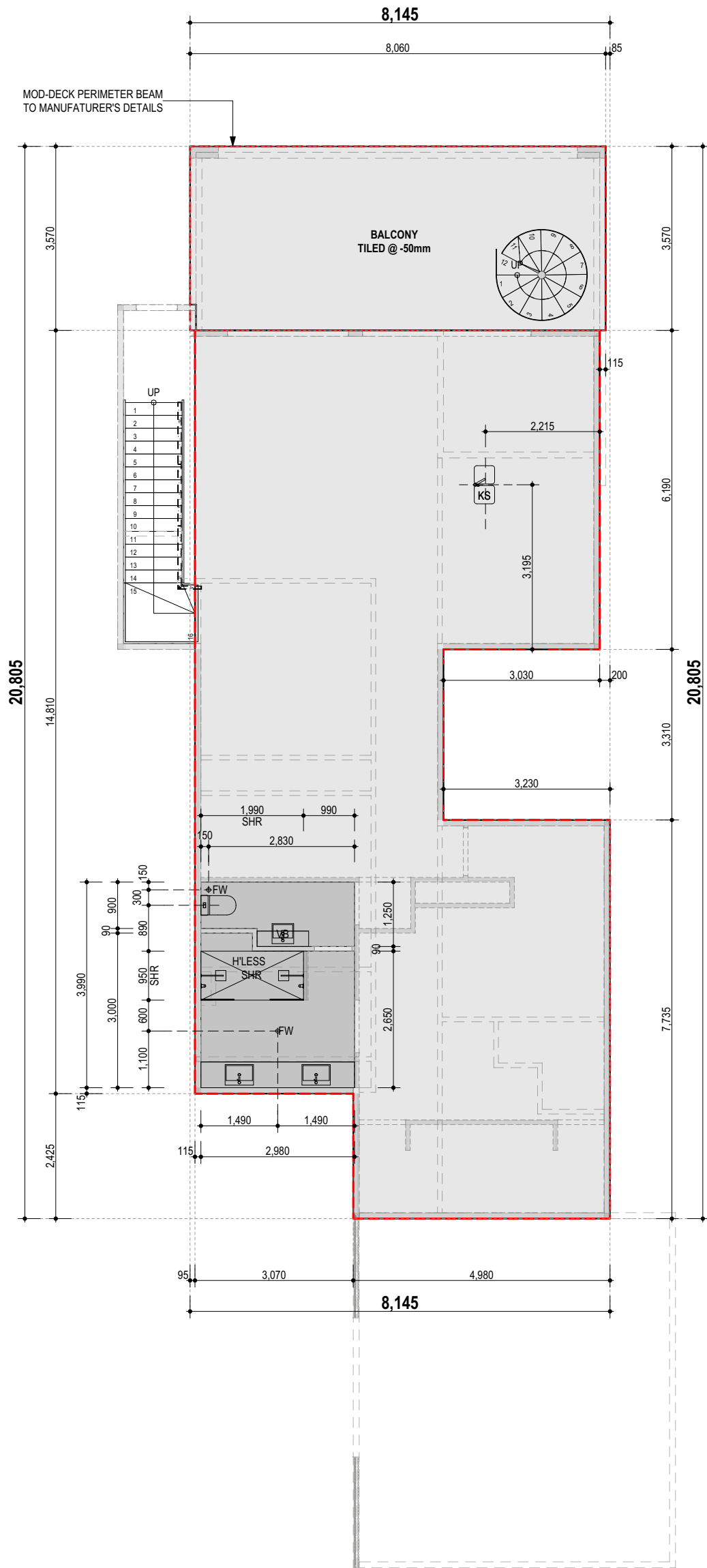
GF SLAB SETOUT
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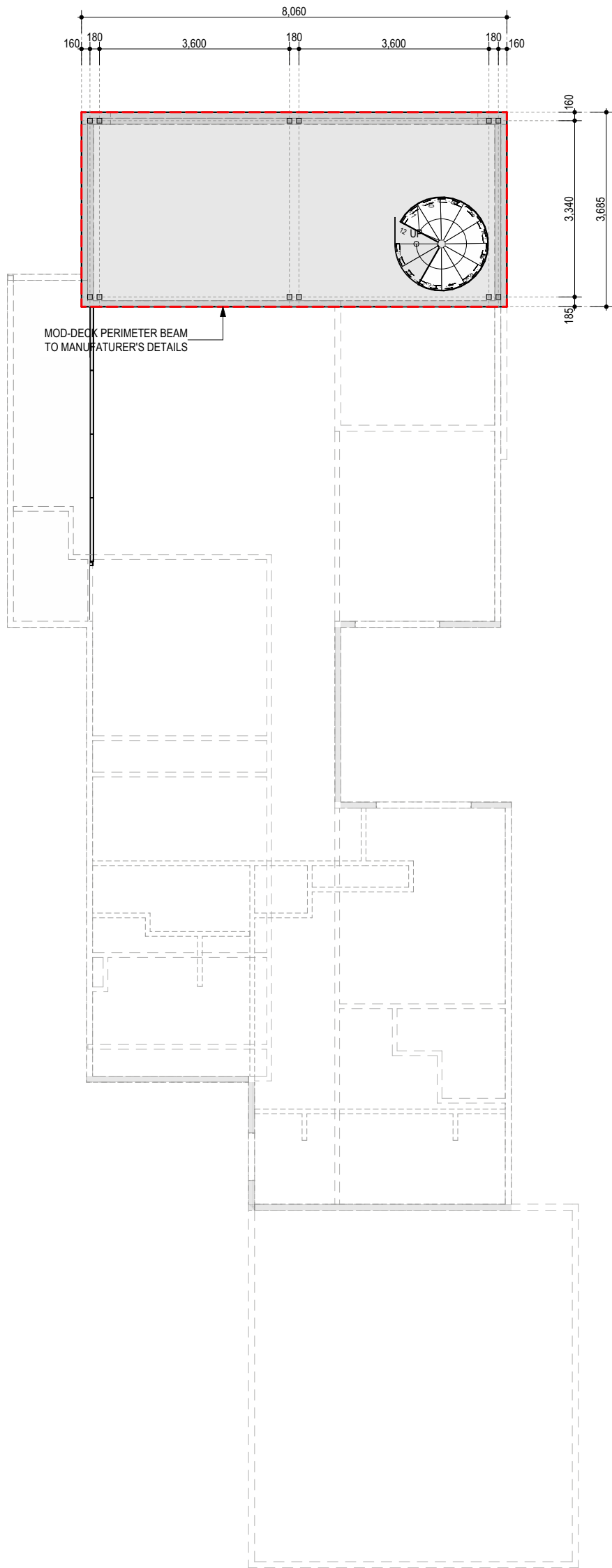
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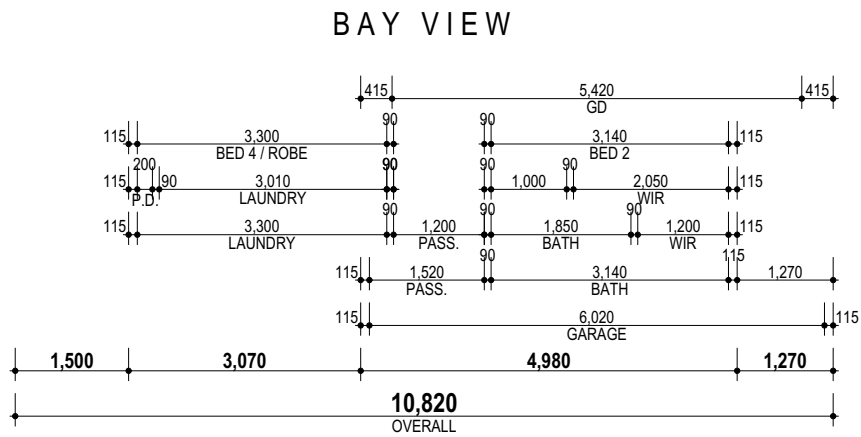
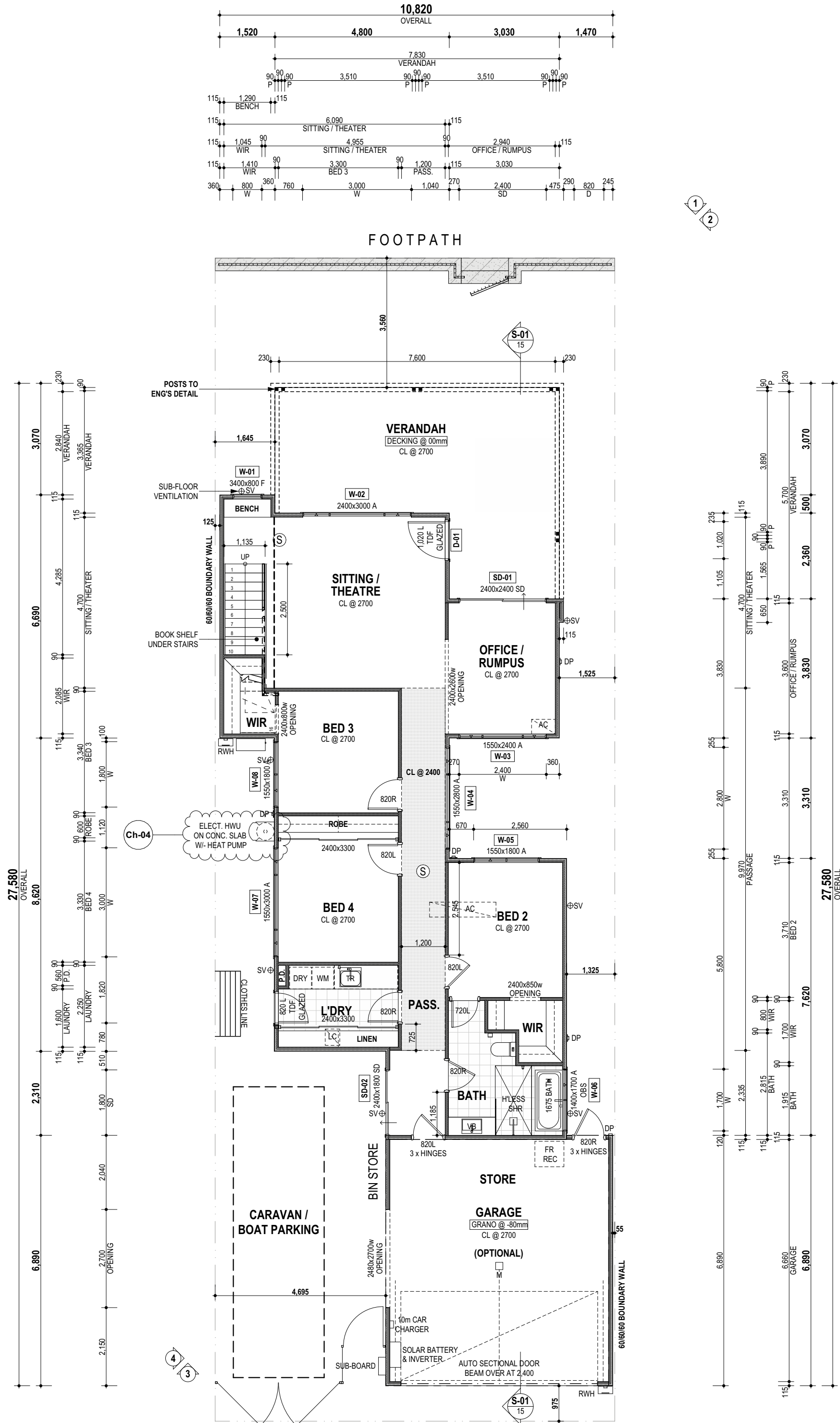
ROOF TERRACE SLAB SETOUT
1:100

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AREAS:	
GARAGE AREA	42.49
GF HOUSE AREA	122.26
ROOF TERRACE AREA	29.70
UF BALCONY AREA	28.31
UF HOUSE AREA	129.41
VERANDAH AREA	34.20
386.37 m²	

ROOF AREAS:	
GF ROOF AREA	41.70
ROOF TERRACE AREA	29.70
UF ROOF AREA	135.15



GROUND FLOOR
1:100

WALL LEGEND:	
EXT. 115mm JBR	SIGNATURE
SIPS PANELS	
INT. 90mm JBR	SIGNATURE
SIPS PANELS	

COASTAL AREA

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH SOIL REPORT, STRUCTURAL DRAWING, ENERGY REPORT, BAL REPORT, AND ACOUSTIC REPORT.

TERMITE MANAGEMENT NOTE:
• TERMITE TREATMENT TO COMPLY WITH BCA 3.1.4 AND AS3660.1 INCLUDING BOUNDARY TREATMENT

SETOUT AND SETBACK NOTES:
• DIMENSIONS ARE TO BE TAKEN FROM WALL FINISH TO BOUNDARY.

BUILDER NOTES:
• BOUNDARY LOCATION SHOWN IN THIS DRAWING IS INDICATIVE ONLY. LICENSED SURVEYOR TO LOCATE THE PEGS AT TRUE BOUNDARY.
• BUILDER TO CHECK ALL SETBACKS FROM THE TRUE B'DRY. IF ANY ISSUE, CONTACT THE OFFICE PRIOR TO CONSTRUCTION.

ENERGY ITEMS LIST:

ROOF:
TIMBER FRAMING
COLORBOND - UNVENTED
NO INSULATION REQUIRED

CEILINGS:
R6.0 BULK INSULATION TO FLAT CEILING
R5.0 TO RAKED CEILING

WALLS:
EXTERNAL
115w JBR SIPS PANELS

INTERNAL
90w JBR SIPS PANELS

FLOOR:
MOD-DECK SLAB

GLAZING:
DOUBLE GLAZED ALUMINUM

**ENERGY ASSESSOR IS TO CONTACT KDG IF ANY CHANGE*

CONSTRUCTION METHOD:

GROUND FLOOR - MOD-DECK SLAB

UPPER FLOOR - MOD-DECK SLAB

EXTERNAL WALL - 115w JBR SIPS PANELS
INTERNAL WALL - 90w JBR SIPS PANELS

ROOF FRAME - TIMBER
ROOF COVER - COLORBOND

DOORS & WINDOWS - DOUBLE GLAZED ALUM.

REV.	ITEMS	DRN	PM	DATE
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TYPE A LOT - BAY VIEW VILLA

PROJECT
**1 CASUARINA CRESCENT
JURIEN BAY
SHIRE OF DANDARAGAN**

CLIENT NAME
JURIEN BAY RESORT PTY LTD, 10 DAVENPORT STREET, KARRINYUP, WA 6018. C/O TOM TIERNEY

SHEET
GF FLOOR PLAN

INITIAL DESIGNER
DR

PAPER PRINTED
@A2

DATE PRINTED
6/03/2026

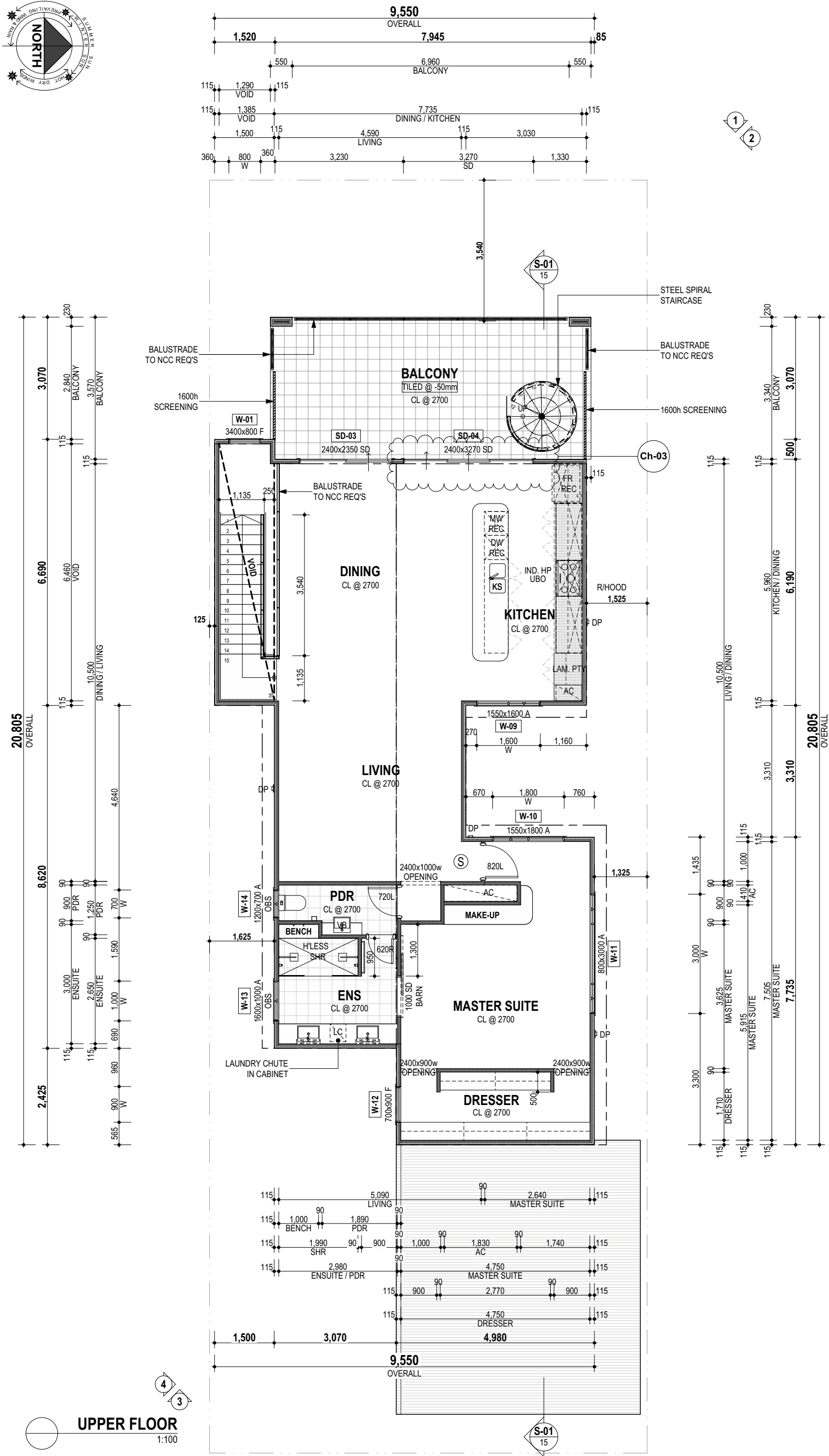
DRAWING No.
7 of 22



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WALL LEGEND:	
	EXT. 115mm JBR
	SIGNATURE SIPS PANELS
	INT. 90mm JBR
	SIGNATURE SIPS PANELS

COASTAL AREA

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ROOF FRAME - TIMBER
ROOF COVER - COLORBOND

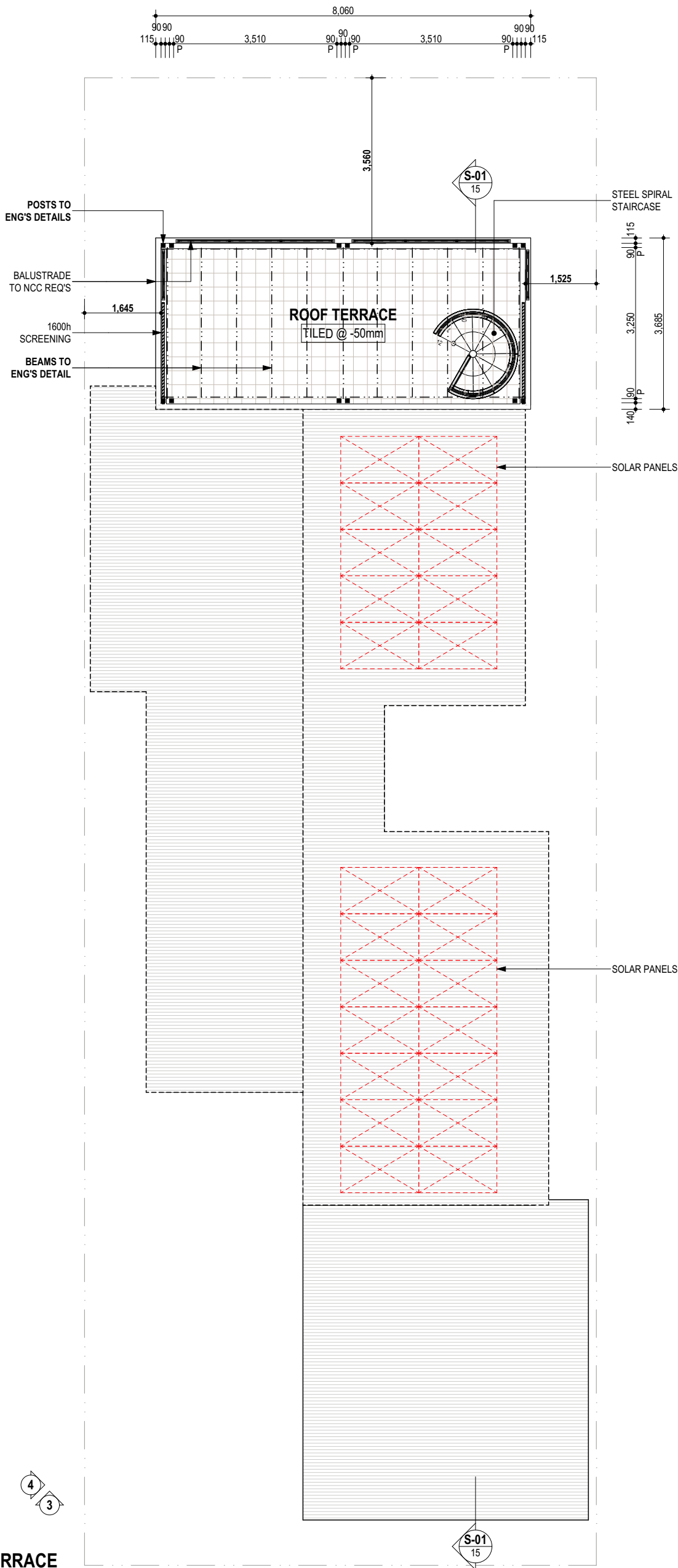
DOORS & WINDOWS - DOUBLE GLAZED ALUM.

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TYPE A LOT - BAY VIEW VILLA

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CLIENT NAME	
JURIEN BAY RESORT PTY LTD, 10 DAVENPORT STREET, KARRINYUP, WA 6018. C/O TOM TIERNEY	

SHEET	
UF FLOOR PLAN	
INITIAL DESIGNER DR	DATE PRINTED 6/03/2026
PAPER PRINTED @A3	DRAWING No. 8 of 22



AREAS:	
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WALLS:
EXTERNAL
115w JBR SIPS PANELS

INTERNAL
90w JBR SIPS PANELS

FLOOR:
MOD-DECK SLAB

GLAZING:
DOUBLE GLAZED ALUMINUM

*ENERGY ASSESSOR IS TO CONTACT KDG IF ANY CHANGE

CONSTRUCTION METHOD:

GROUND FLOOR	-	MOD-DECK SLAB
UPPER FLOOR	-	MOD-DECK SLAB
EXTERNAL WALL	-	115w JBR SIPS PANELS
INTERNAL WALL	-	90w JBR SIPS PANELS
ROOF FRAME	-	TIMBER
ROOF COVER	-	COLORBOND
DOORS & WINDOWS	-	DOUBLE GLAZED ALUM.

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TYPE A LOT - BAY VIEW VILLA

PROJECT

1 CASUARINA CRESCENT
JURIEN BAY
SHIRE OF DANDARAGAN

CLIENT NAME

JURIEN BAY RESORT PTY LTD, 10 DAVENPORT
STREET, KARRINYUP, WA 6018. C/O TOM TIERNEY

SHEET

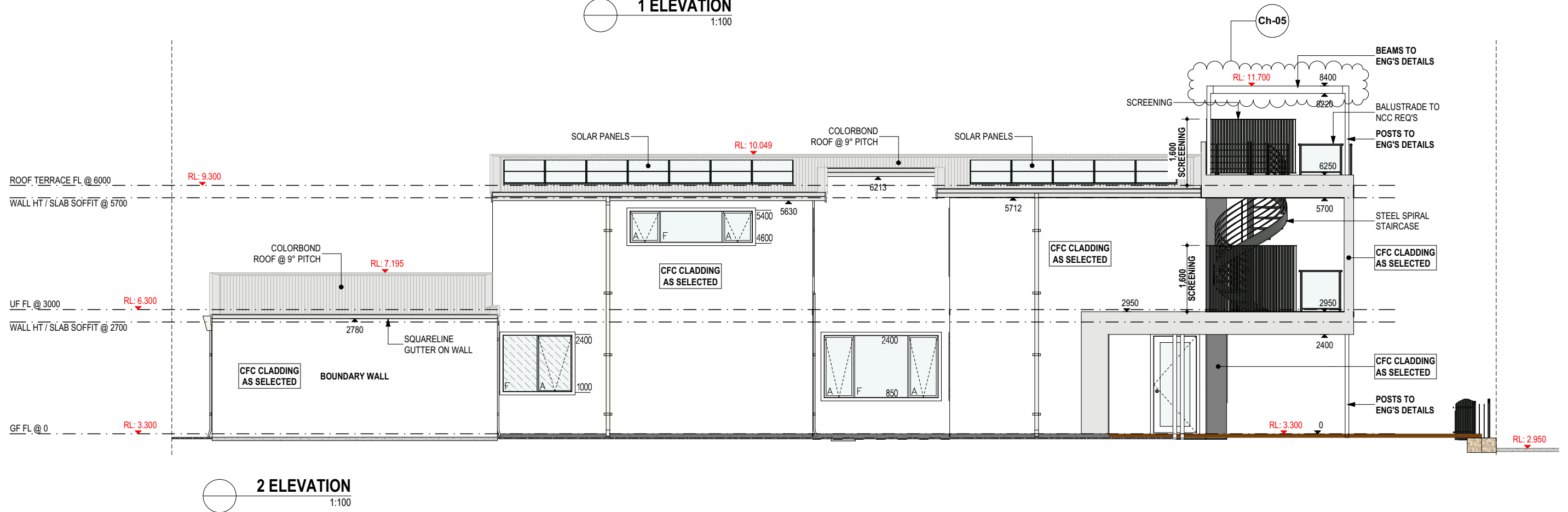
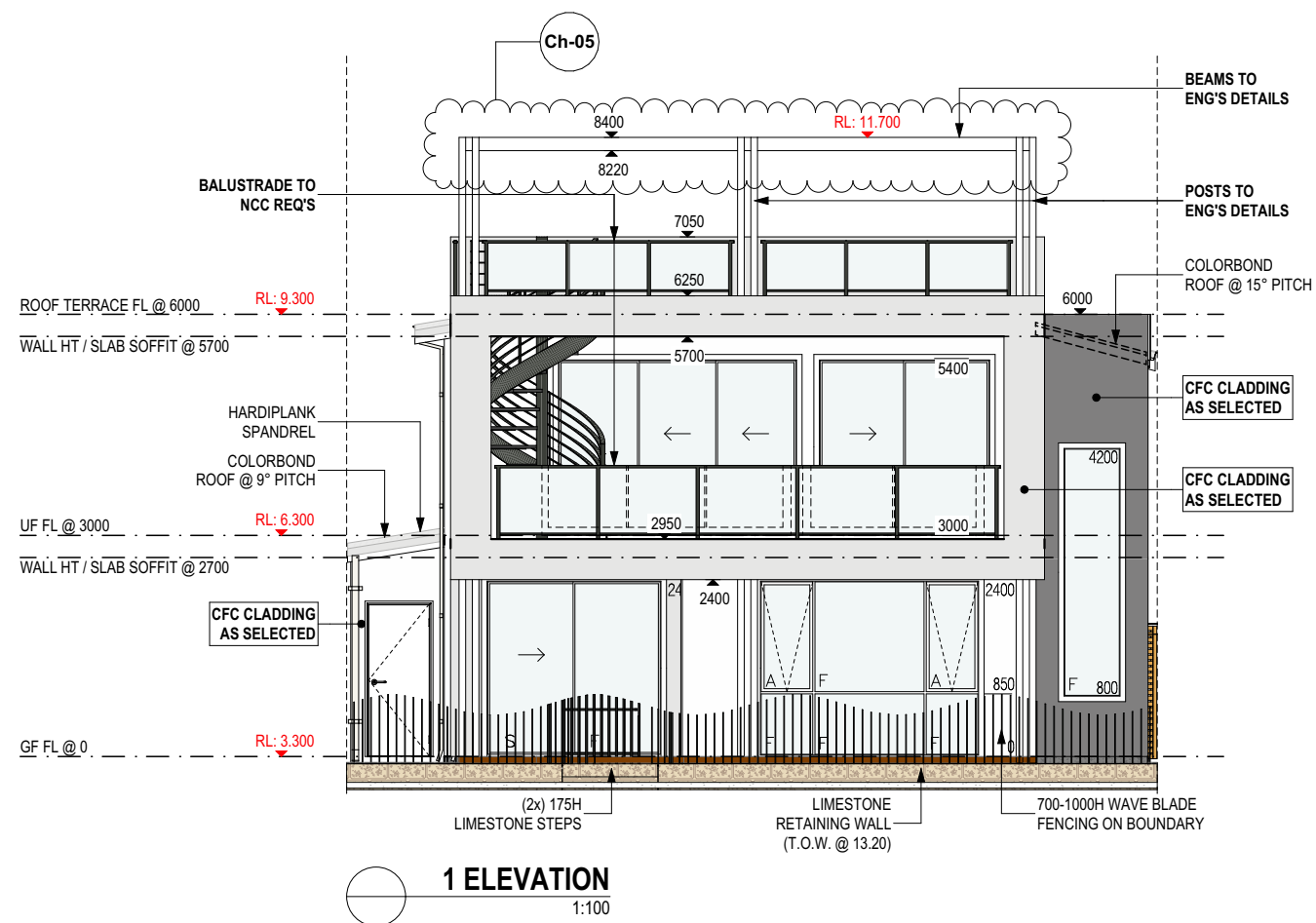
ROOF TERRACE FLOOR PLAN

INITIAL DESIGNER
DR

DATE PRINTED
6/03/2026

PAPER PRINTED
@A3

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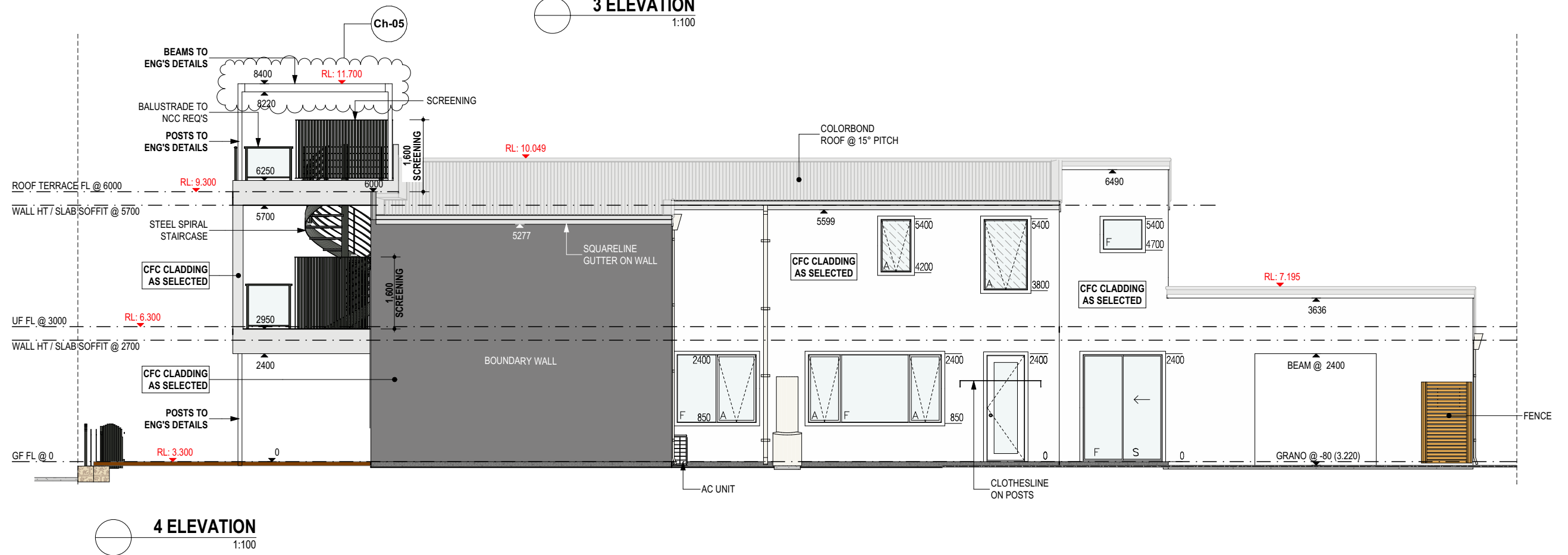
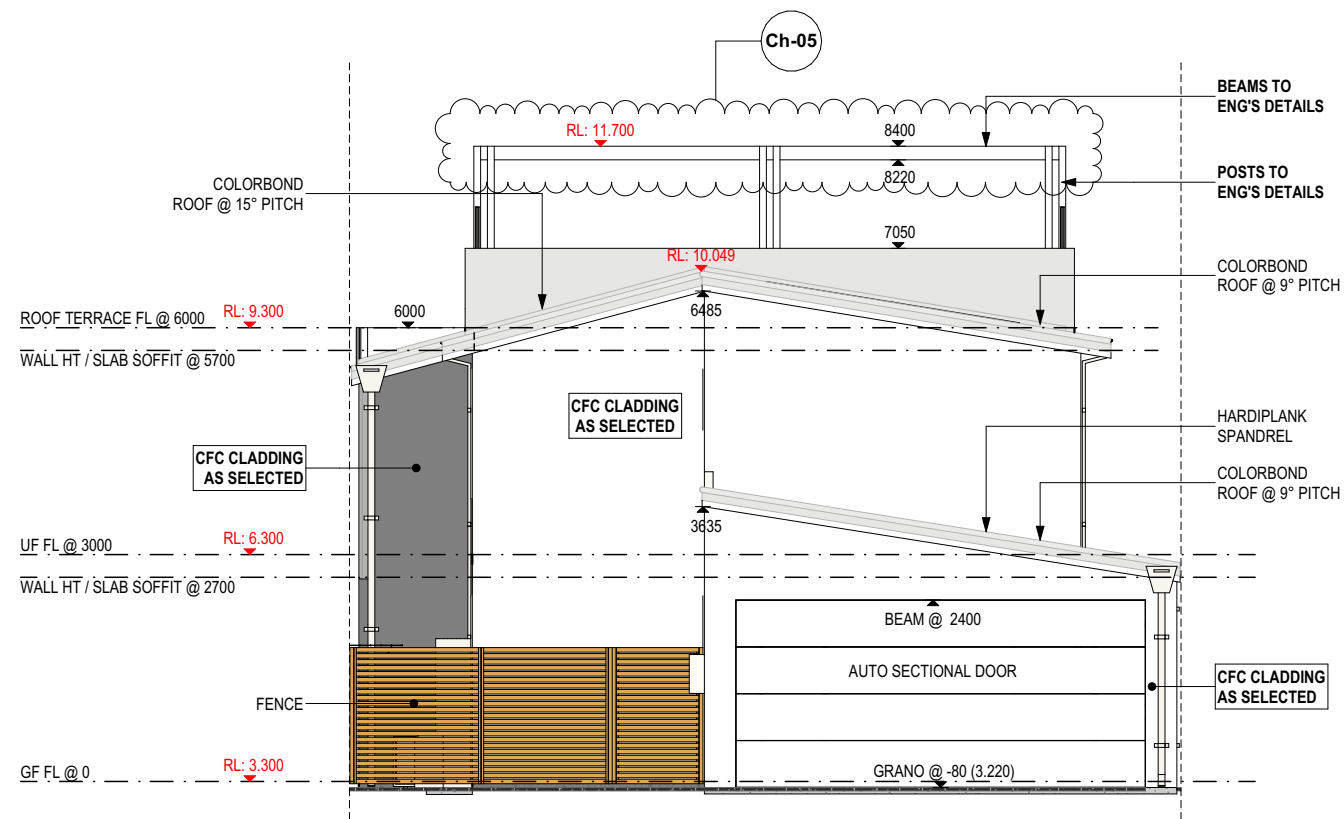
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TYPE A LOT - BAY VIEW VILLA

PROJECT	CLIENT NAME
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SHEET	ELEVATIONS
INITIAL DESIGNER DR	DATE PRINTED 6/03/2026
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SHEET

ELEVATIONS

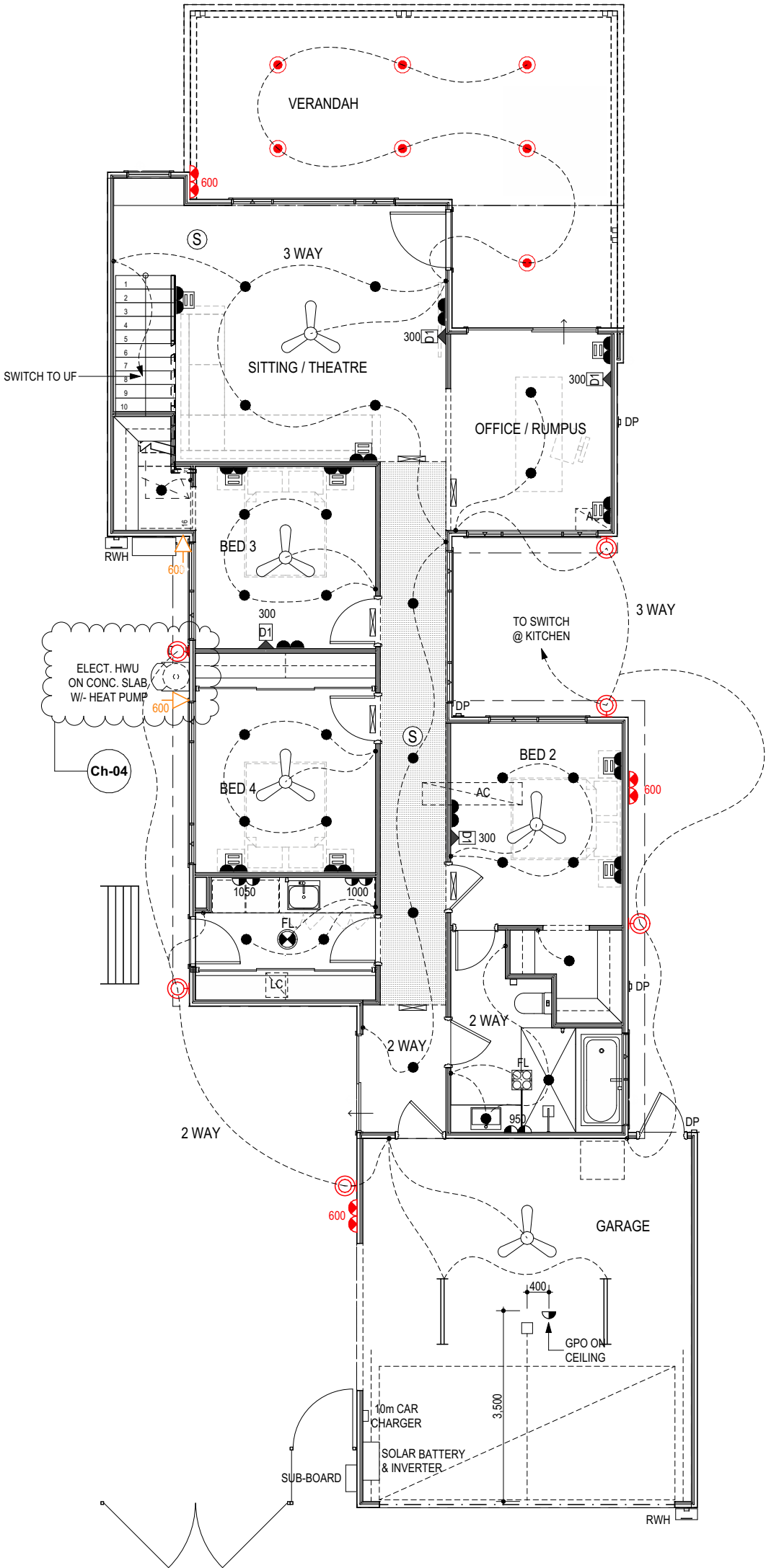
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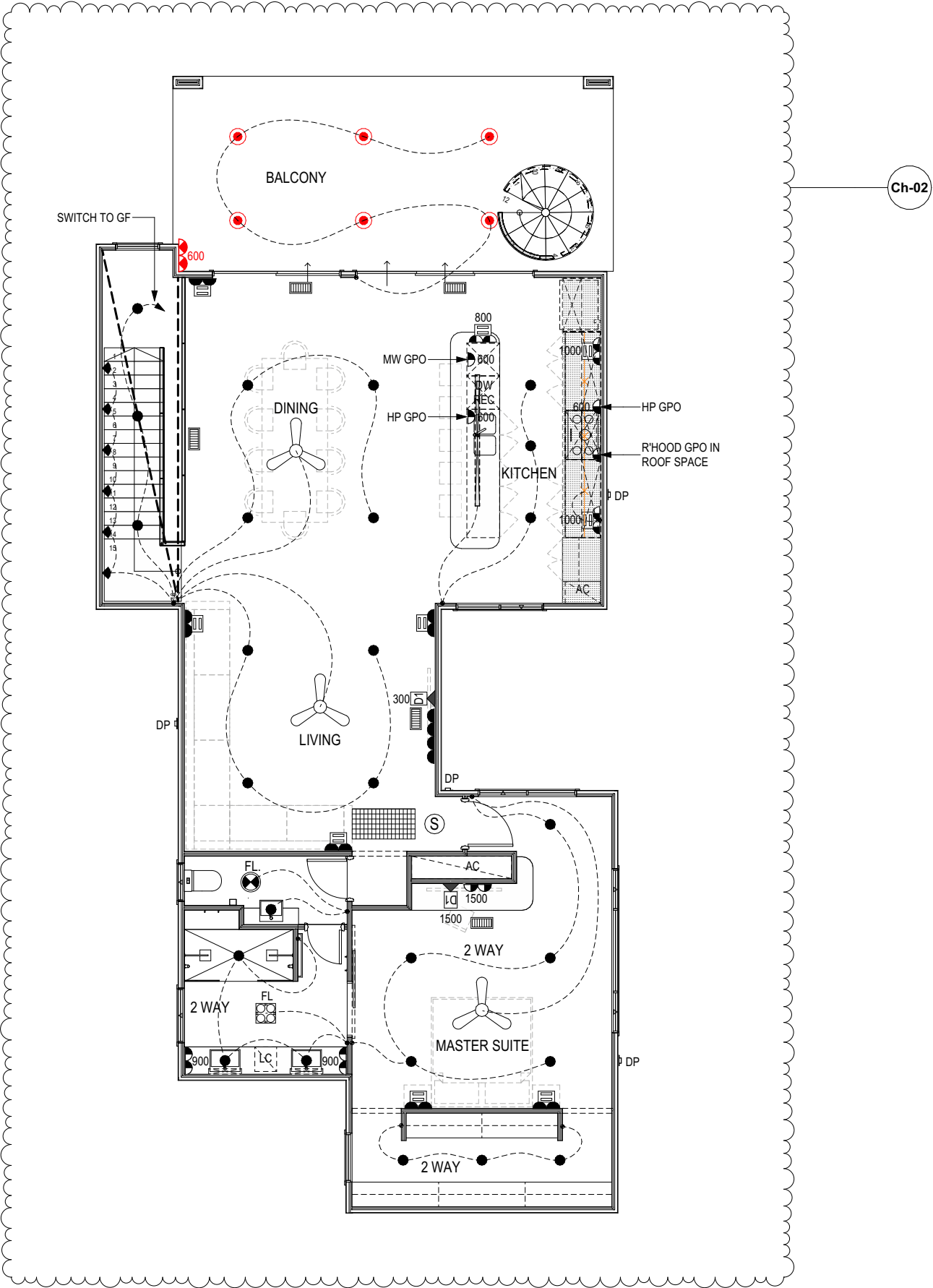
ELECTRICAL LEGEND - GROUND FLOOR		
No.	SYMBOL	TYPE
2		1200L LED LIGHT BAR
5		1800mm CEILING FAN (1m DROP)
3	2 WAY	2 WAY CIRCUIT
2	3 WAY	3 WAY CIRCUIT
1		4x HEATER/FAN/LIGHT FLUMED
6		A/C LINEAR WALL VENT
4		DATA POINT
3		DOUBLE GPO @ 300 AFL
10		DOUBLE GPO @ 300 AFL W/USB + USB-C
3		DOUBLE GPO @ NOTED HT
2		DOUBLE WATER PROOF GPO
1		EXHAUST FAN FLUMED
6		EXTERNAL WALL LIGHT
2		H.WIRED SMOKE DETECTOR
2		ISOLATION SWITCH
7		RECESSED EXTERNAL LED DOWN-LIGHT
28		RECESSED LED DOWN-LIGHT
1		SINGLE GPO @ NOTED HT
1		SINGLE WATER PROOF GPO



GF ELECTRICAL
1:100

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TYPE A LOT - BAY VIEW VILLA																																																	

ELECTRICAL LEGEND - UPPER FLOOR		
No.	SYMBOL	TYPE
3		1800mm CEILING FAN (1m DROP)
3	2 WAY	2 WAY CIRCUIT
1		4 GPOs @ 300 AFL
1	FL	4x HEATER/FAN/LIGHT FLUMED
5		A/C CEILING DIFFUSER
1		A/C RETURN AIR GRILLE
2		DATA POINT
6		DOUBLE GPO @ 300 AFL W/USB + USB-C
3		DOUBLE GPO @ NOTED HT
3		DOUBLE GPO @ NOTED HT W/USB + USB-C
1		DOUBLE WATER PROOF GPO
1		EXHAUST FAN FLUMED
1		H.WIRED SMOKE DETECTOR
1		LED LIGHT STRIP
6		RECESSED EXTERNAL LED DOWN-LIGHT
26		RECESSED LED DOWN-LIGHT
4		SINGLE GPO @ NOTED HT
6		STAIR TREAD LIGHT - 150mm AFL
1		SUSPENDE LED LIGHT BAR

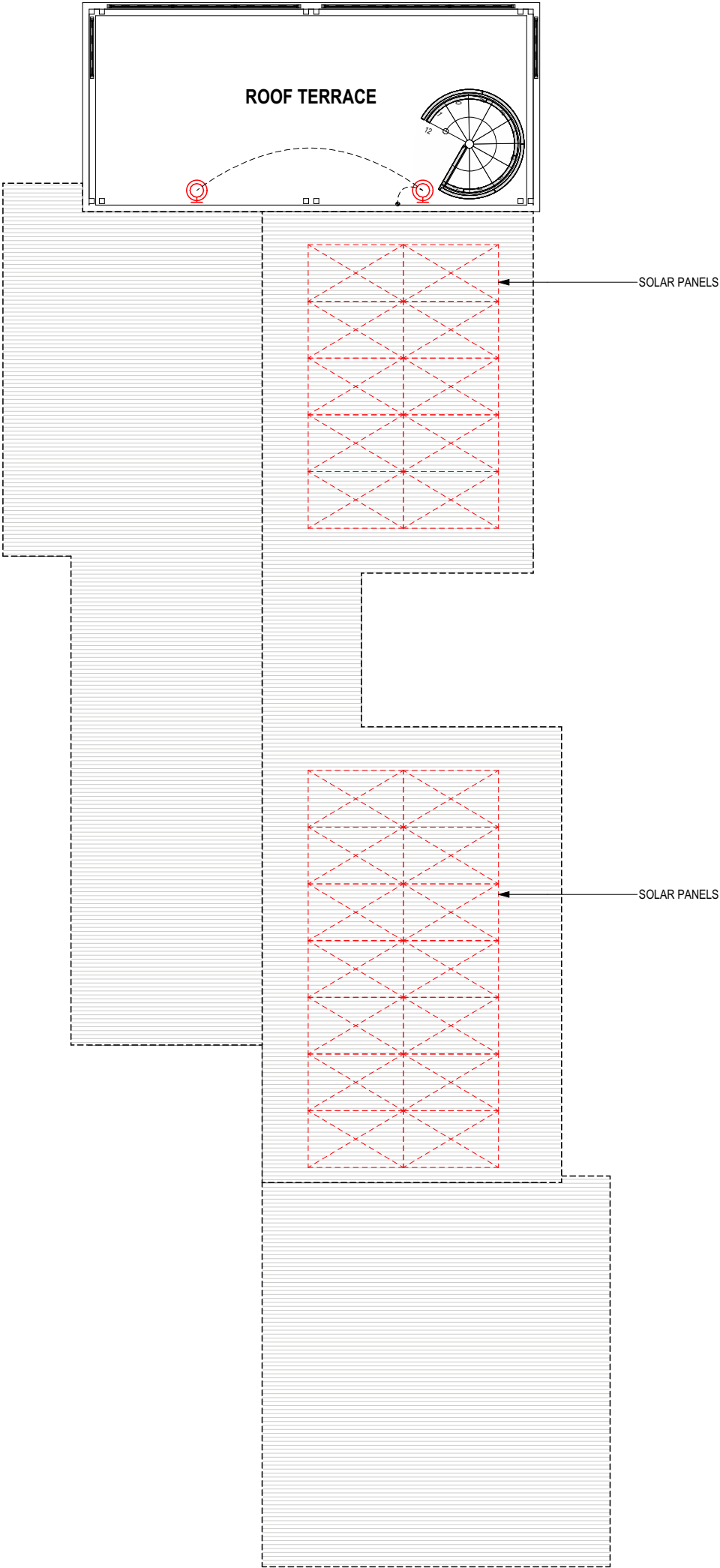


UF ELECTRICAL
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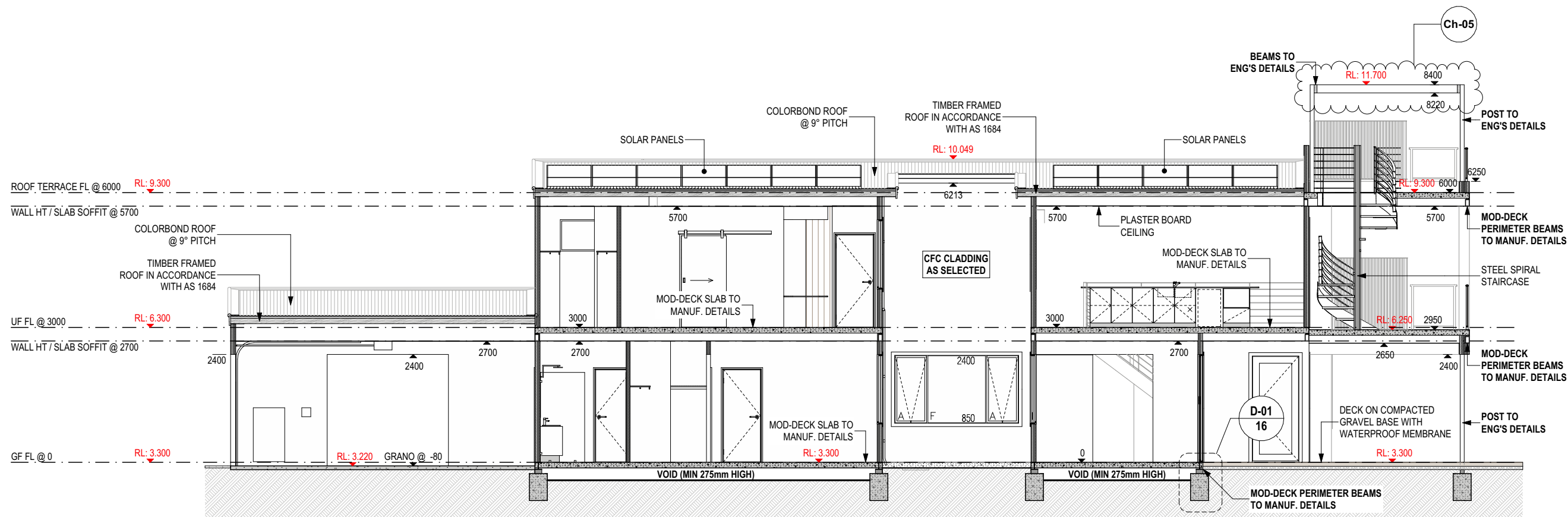
 Kellett Design Group Designs for a better tomorrow Tel: (08) 9446 8860 www.kellettdesigngroup.com.au © Copyright. Use figured dimensions in preference to scaled. All dimensions to be verified and checked prior to construction.	<table><tr><th>REV.</th><th>ITEMS</th><th>DRN</th><th>PM</th><th>DATE</th></tr><tr><td>A10</td><td>PRELIM BP</td><td>DR</td><td>DR</td><td>22/09/2025</td></tr><tr><td>A11</td><td>CHANGE BUILD METHODOLOGY</td><td>DR</td><td>DR</td><td>24/09/2025</td></tr><tr><td>A12</td><td>BP SET</td><td>PV</td><td>DR</td><td>16/10/2025</td></tr><tr><td>A13</td><td>BP SET - STAIR PLAN</td><td>PV</td><td>DR</td><td>31/10/2025</td></tr><tr><td>A14</td><td>BP SET - CLIENT AMENDMENTS</td><td>DR</td><td>DR</td><td>06/02/2026</td></tr><tr><td>A15</td><td>BP SET - CLIENT AMENDMENTS</td><td>DR</td><td>DR</td><td>25/02/2026</td></tr><tr><td>A16</td><td>BP SET - CLIENT AMENDMENTS</td><td>DR</td><td>DR</td><td>03/03/2026</td></tr><tr><td>A17</td><td>BP SET - CLIENT AMENDMENTS</td><td>DR</td><td>DR</td><td>06/03/2026</td></tr></table>	REV.	ITEMS	DRN	PM	DATE	A10	PRELIM BP	DR	DR	22/09/2025	A11	CHANGE BUILD METHODOLOGY	DR	DR	24/09/2025	A12	BP SET	PV	DR	16/10/2025	A13	BP SET - STAIR PLAN	PV	DR	31/10/2025	A14	BP SET - CLIENT AMENDMENTS	DR	DR	06/02/2026	A15	BP SET - CLIENT AMENDMENTS	DR	DR	25/02/2026	A16	BP SET - CLIENT AMENDMENTS	DR	DR	03/03/2026	A17	BP SET - CLIENT AMENDMENTS	DR	DR	06/03/2026	<table><tr><td colspan="2">PROJECT</td><td rowspan="2">1 CASUARINA CRESCENT JURIEN BAY SHIRE OF DANDARAGAN</td></tr><tr><td colspan="2">CLIENT NAME</td></tr><tr><td colspan="2"></td><td>JURIEN BAY RESORT PTY LTD, 10 DAVENPORT STREET, KARRINYUP, WA 6018. C/O TOM TIERNEY</td></tr></table>	PROJECT		1 CASUARINA CRESCENT JURIEN BAY SHIRE OF DANDARAGAN	CLIENT NAME				JURIEN BAY RESORT PTY LTD, 10 DAVENPORT STREET, KARRINYUP, WA 6018. C/O TOM TIERNEY	<table><tr><td colspan="2">SHEET</td><td rowspan="3">UF ELECTRICAL</td></tr><tr><td>INITIAL DESIGNER</td><td>DATE PRINTED</td></tr><tr><td>DR</td><td>6/03/2026</td></tr><tr><td>PAPER PRINTED</td><td>DRAWING No.</td><td></td></tr><tr><td>@A3</td><td>13 of 22</td><td></td></tr></table>		SHEET		UF ELECTRICAL	INITIAL DESIGNER	DATE PRINTED	DR	6/03/2026	PAPER PRINTED	DRAWING No.		@A3	13 of 22	
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TYPE A LOT - BAY VIEW VILLA																																																																						

TYPE A LOT - BAY VIEW VILLA

ELECTRICAL LEGEND ROOF TERRACE		
No.	SYMBOL	TYPE
2		EXTERNAL WALL LIGHT



 **ROOF TERRACE**
1:100



S-01 SECTION
1:100



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TYPE A LOT - BAY VIEW VILLA

PROJECT

**1 CASUARINA CRESCENT
JURIEN BAY
SHIRE OF DANDARAGAN**

CLIENT NAME

JURIEN BAY RESORT PTY LTD, 10 DAVENPORT
STREET, KARRINYUP, WA 6018. C/O TOM TIERNEY

SHEET

SECTION

INITIAL DESIGNER
DR

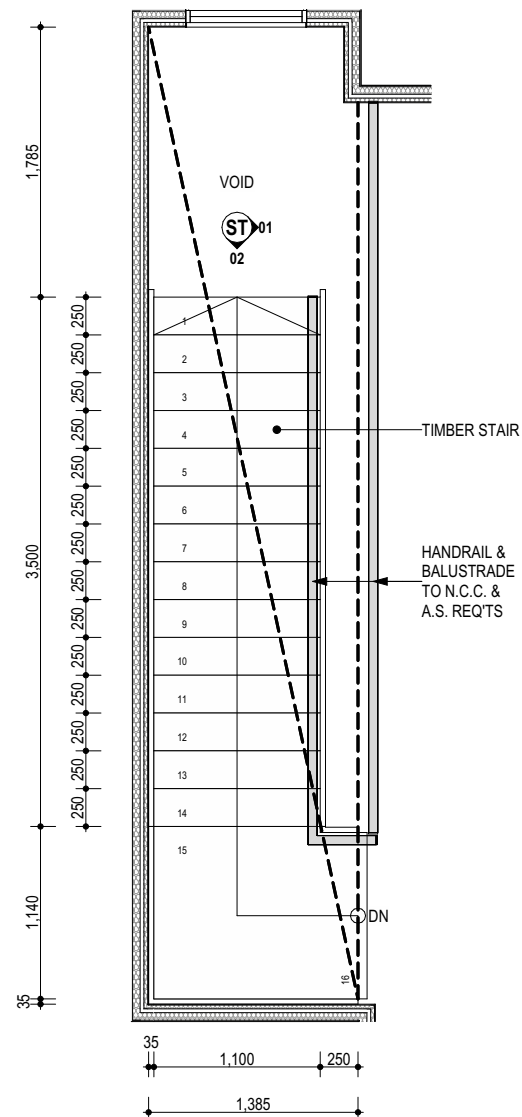
PAPER PRINTED
@A3

DATE PRINTED
6/03/2026

DRAWING No.
15 of 22

STAIRS NOTE:
CONSTRUCTION OF BALUSTRADES SHALL ADHERE WITH PART 3.9 OF THE NCC VOLUME TWO.
- NO OPENINGS GREATER THAN 125mm

16 RISERS @ 188/RISER
15 TREADS @ 280/TREAD



STAIRS LAYOUT
1:50

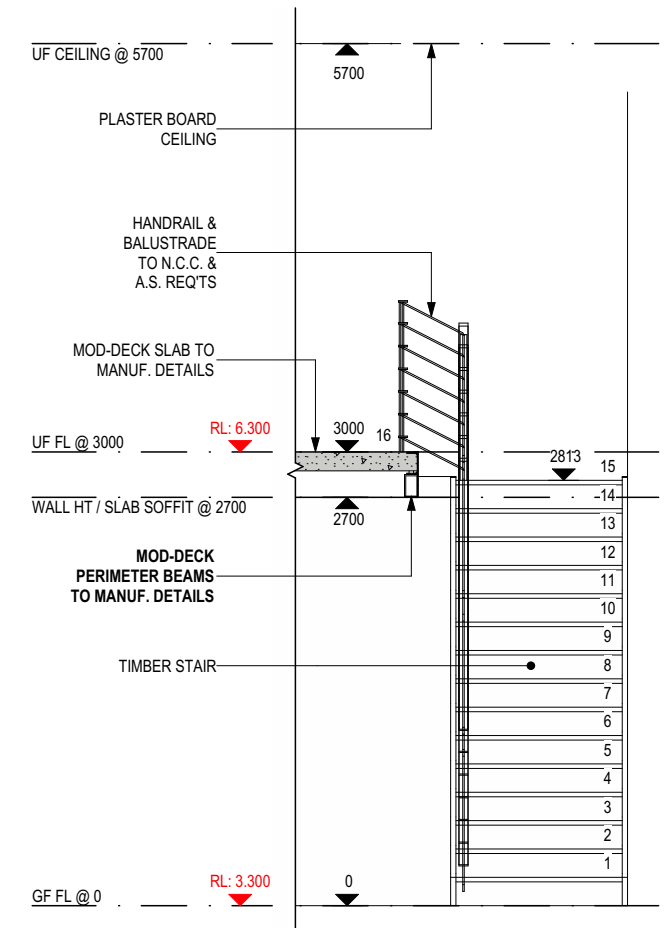
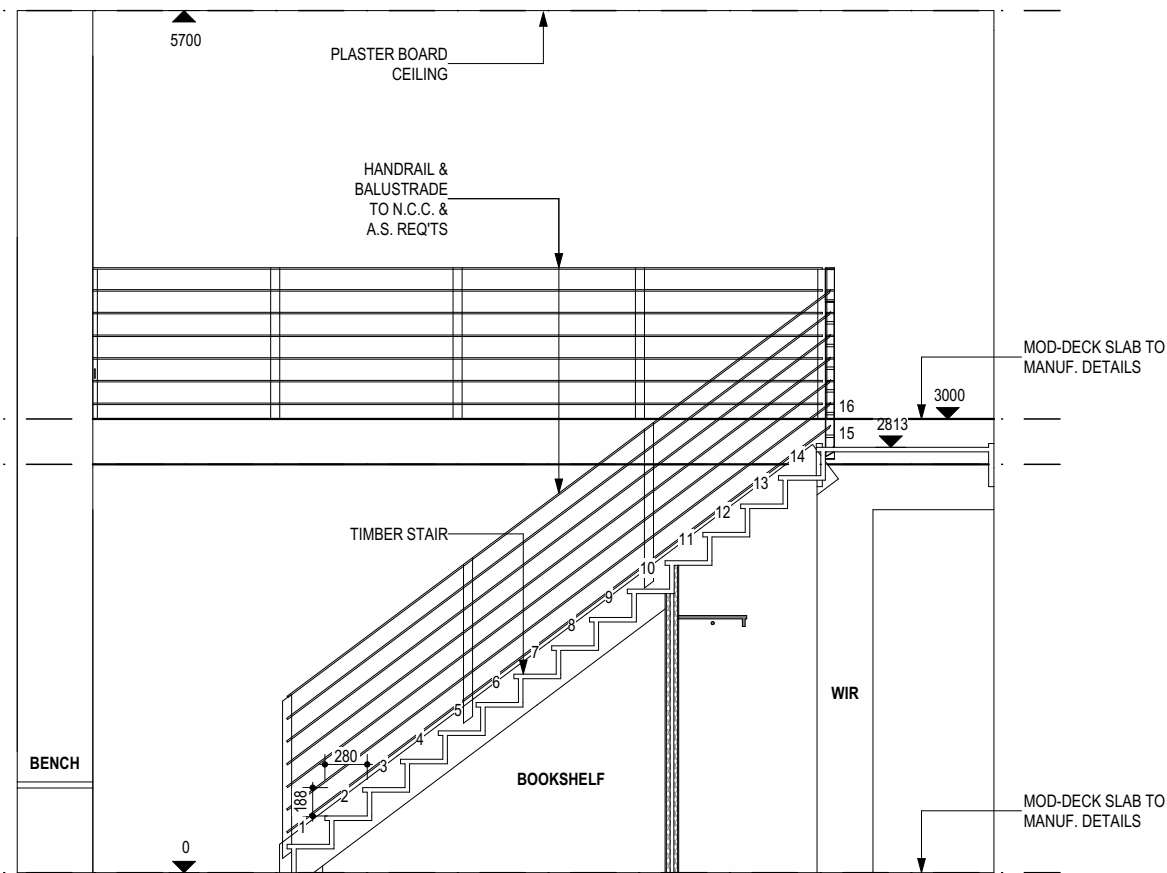
WALL HT / SLAB SOFFIT @ 5700

UF FL @ 3000 RL: 6.300

WALL HT / SLAB SOFFIT @ 2700

GF FL @ 0 RL: 3.300

ST 01
1:50



ST 02
1:50



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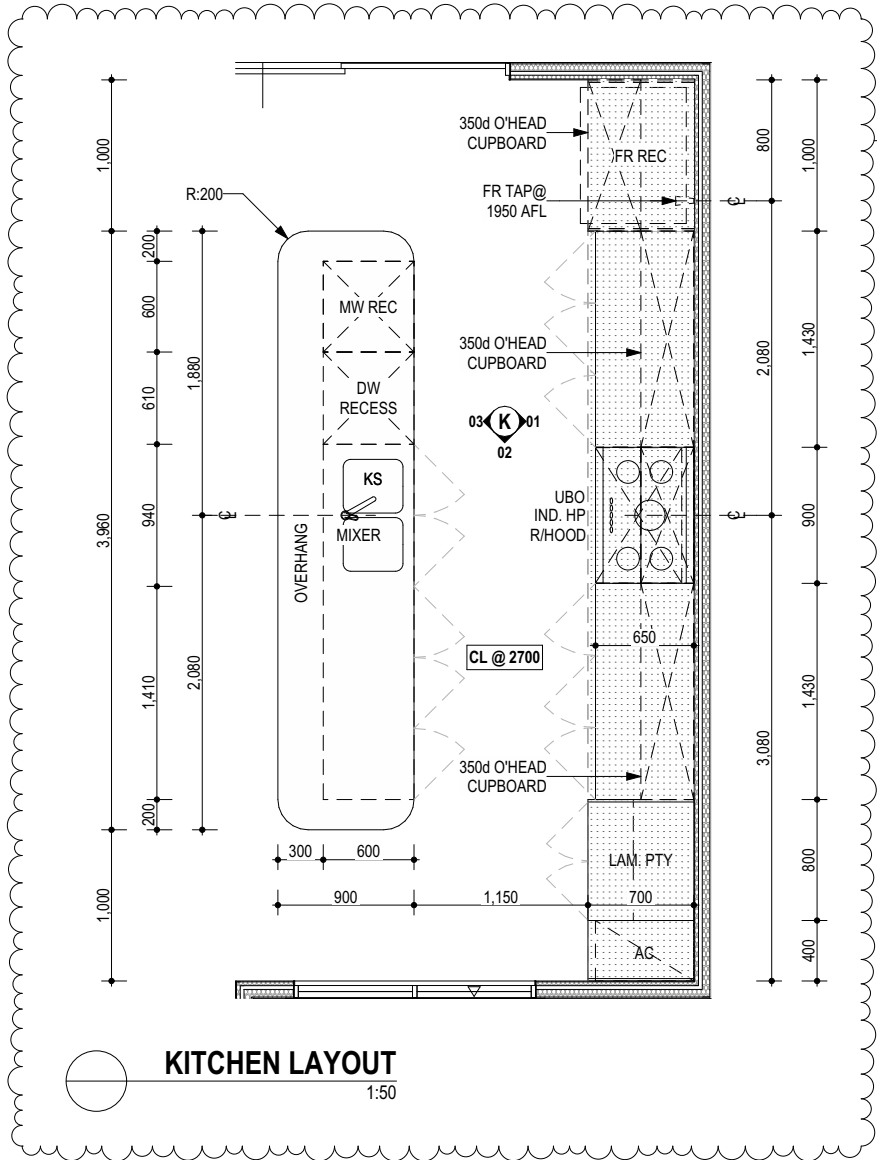
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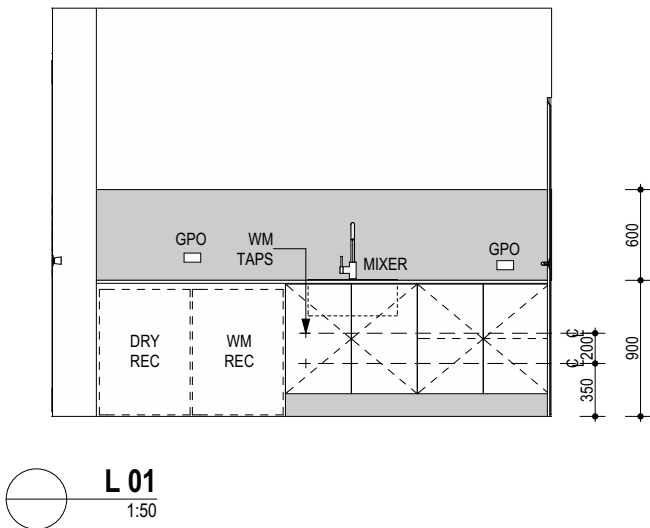
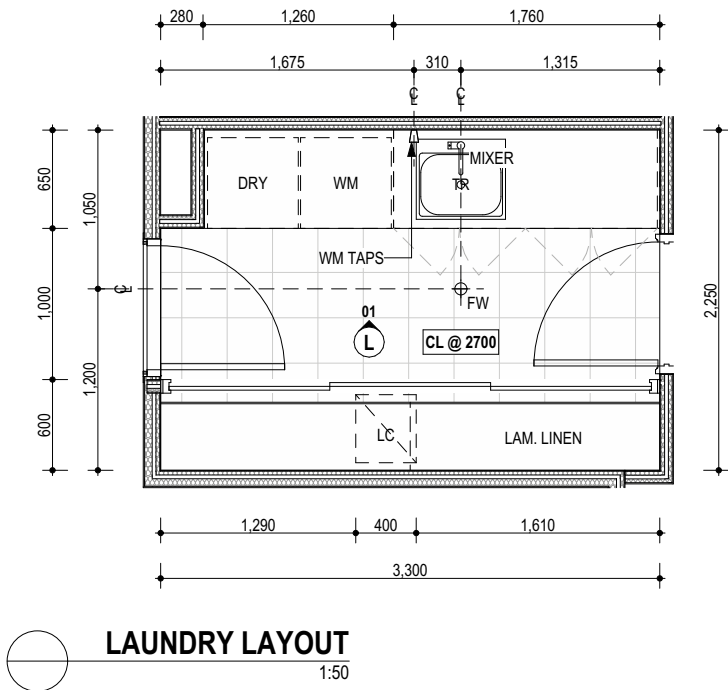
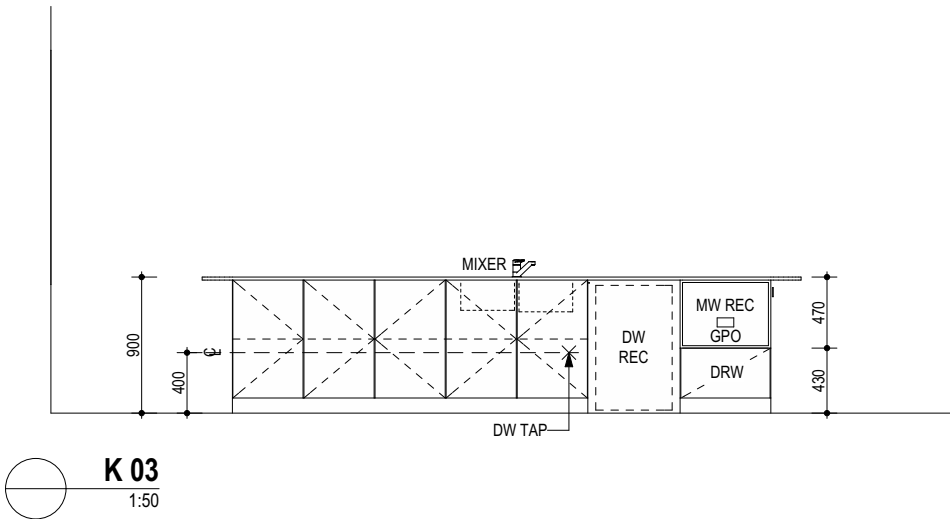
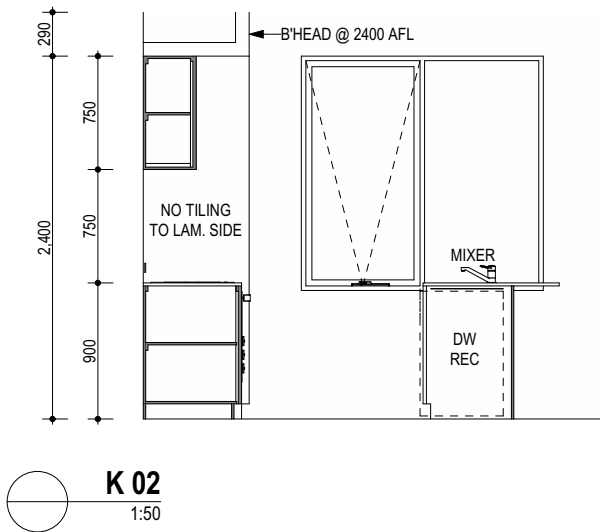
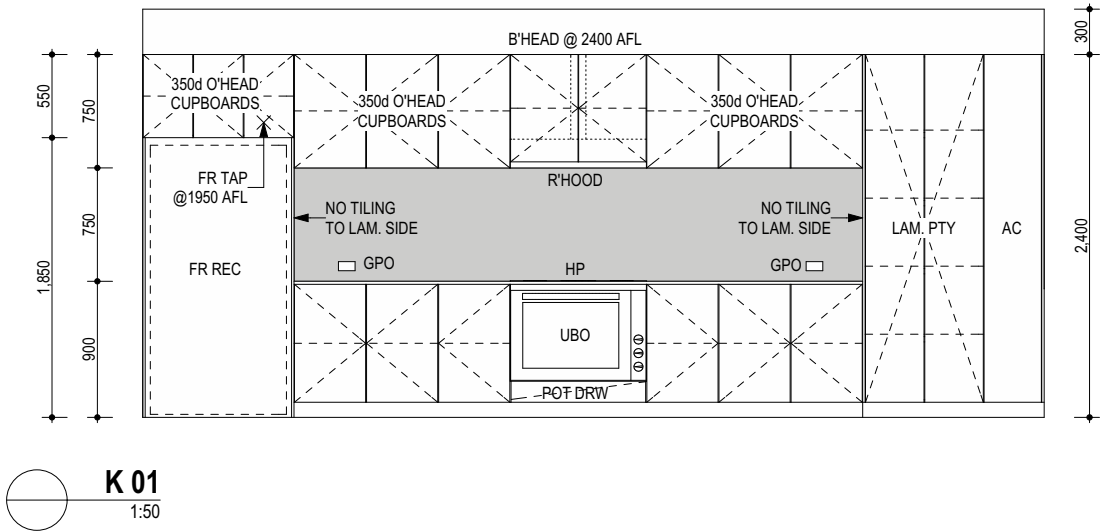
TYPE A LOT - BAY VIEW VILLA

PROJECT	1 CASUARINA CRESCENT JURIEN BAY SHIRE OF DANDARAGAN
CLIENT NAME	JURIEN BAY RESORT PTY LTD, 10 DAVENPORT STREET, KARRINYUP, WA 6018. C/O TOM TIERNEY

SHEET	STAIR LAYOUT
INITIAL DESIGNER DR	DATE PRINTED 6/03/2026
PAPER PRINTED @A3	DRAWING No. 17 of 22



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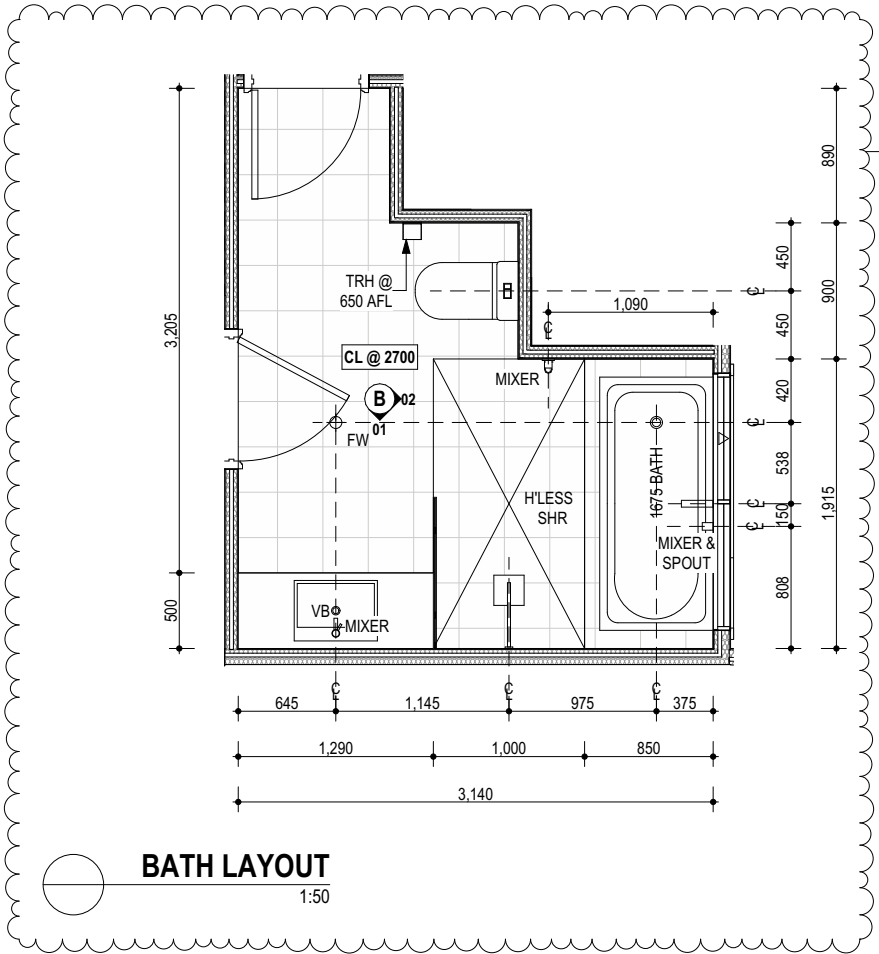
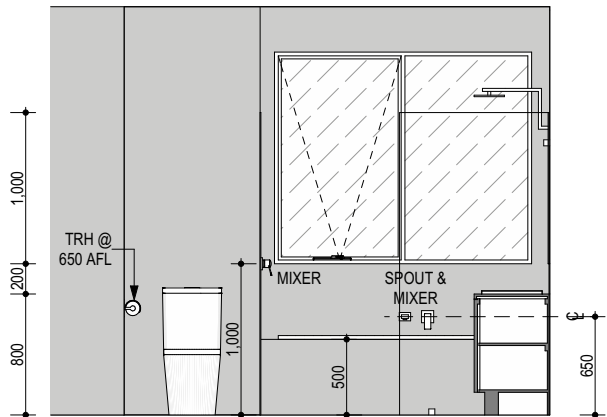
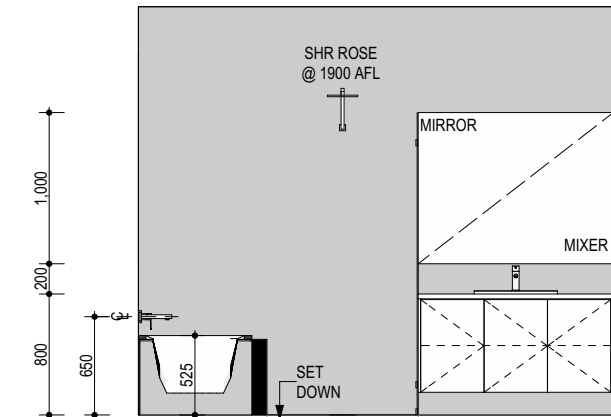
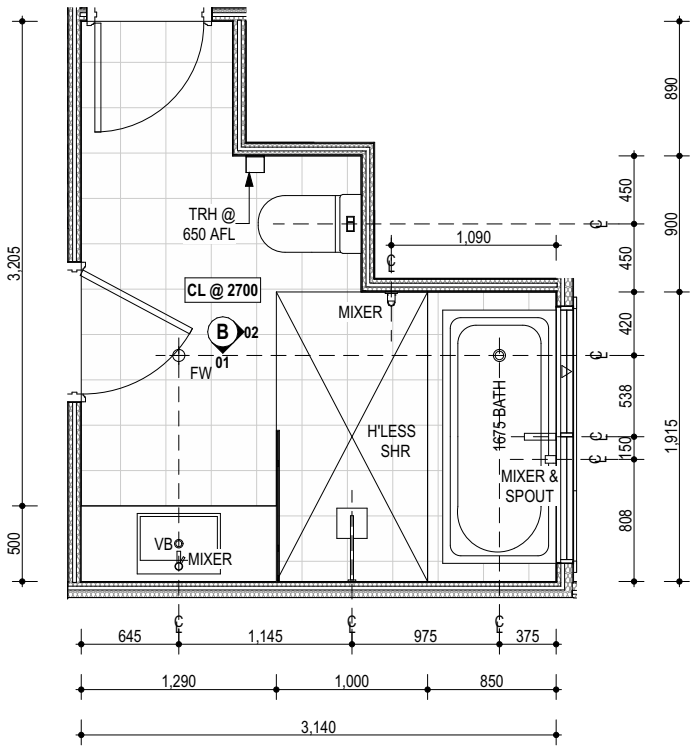
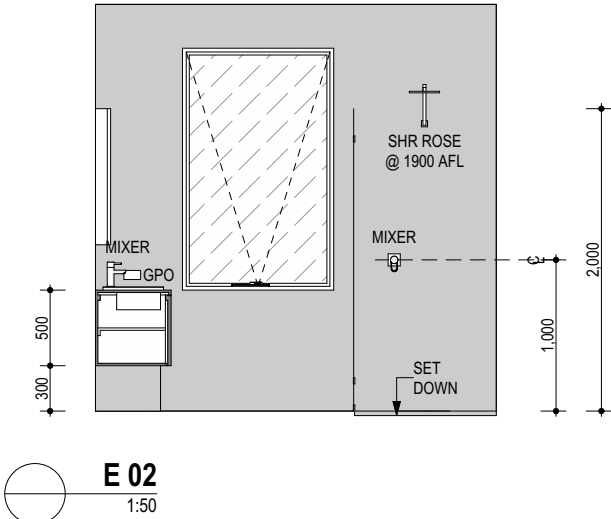
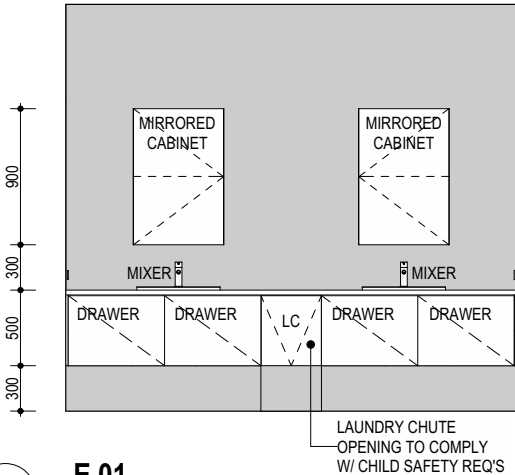
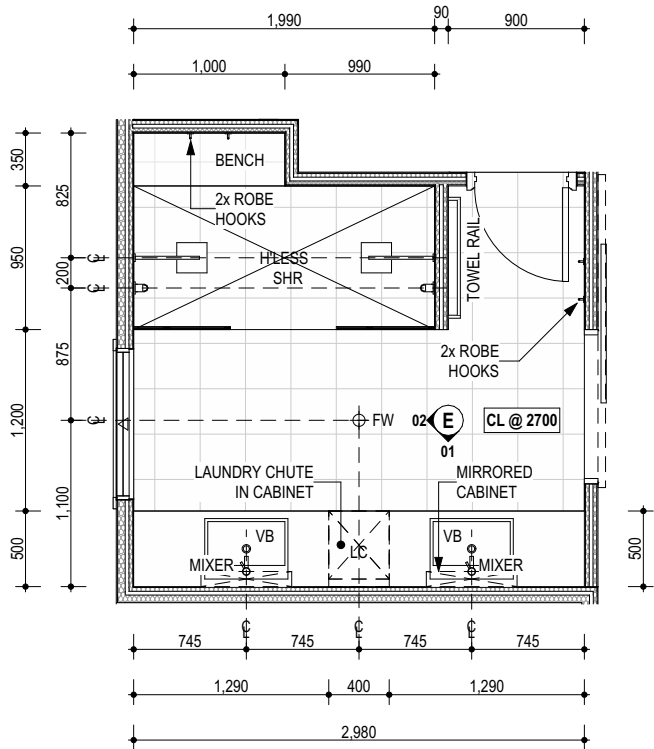
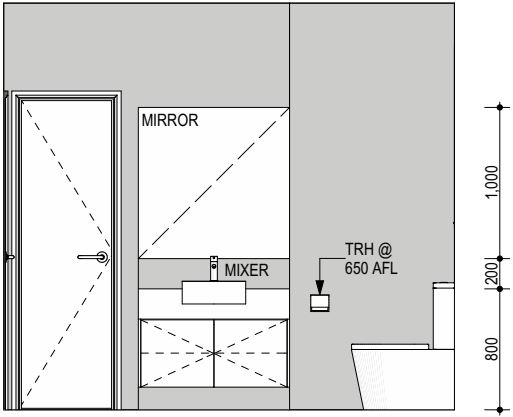
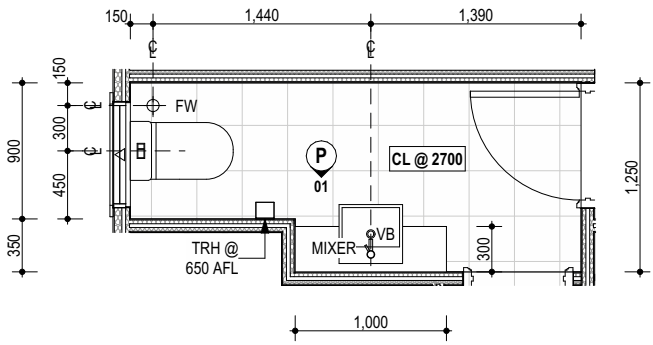
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B 01

1:50

B 02

1:50

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TYPE A LOT - BAY VIEW VILLA

PROJECT	1 CASUARINA CRESCENT JURIEN BAY SHIRE OF DANDARAGAN
CLIENT NAME	JURIEN BAY RESORT PTY LTD, 10 DAVENPORT STREET, KARRINYUP, WA 6018. C/O TOM TIERNEY

SHEET	INTERNAL LAYOUTS
INITIAL DESIGNER DR	DATE PRINTED 6/03/2026
PAPER PRINTED @A3	DRAWING No. 19 of 22

WINDOW SCHEDULE					
ID	W-01	W-02	W-03	W-04	W-05
QUANTITY	1	1	1	1	1
RELATED ZONE NAME	STAIRS	SITTING / THEATRE	OFFICE / RUMPUS	PASS.	BED 2
HEIGHT	3,400	2,400	1,550	1,550	1,550
WIDTH	800	3,000	2,400	2,800	1,800
VIEW FROM EXTERNAL SIDE					
OPENING TYPE	FIXED	AWNING	AWNING	AWNING	AWNING
GLAZING	DOUBLE GLAZED; CLEAR	DOUBLE GLAZED; CLEAR	DOUBLE GLAZED; CLEAR	DOUBLE GLAZED; CLEAR	DOUBLE GLAZED; CLEAR
FRAME	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM

WINDOW SCHEDULE					
ID	W-06	W-07	W-08	W-09	W-10
QUANTITY	1	1	1	1	1
RELATED ZONE NAME	BATH	BED 4	BED 3	KITCHEN	MASTER SUITE
HEIGHT	1,400	1,550	1,550	1,550	1,550
WIDTH	1,700	3,000	1,800	1,600	1,800
VIEW FROM EXTERNAL SIDE					
OPENING TYPE	AWNING	AWNING	AWNING	AWNING	AWNING
GLAZING	DOUBLE GLAZED; OBSCURED	DOUBLE GLAZED; CLEAR	DOUBLE GLAZED; CLEAR	DOUBLE GLAZED; CLEAR	DOUBLE GLAZED; CLEAR
FRAME	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM

WINDOW SCHEDULE				
ID	W-11	W-12	W-13	W-14
QUANTITY	1	1	1	1
RELATED ZONE NAME	MASTER SUITE	DRESSER	ENS	PDR
HEIGHT	800	700	1,600	1,200
WIDTH	3,000	900	1,000	700
VIEW FROM EXTERNAL SIDE				
OPENING TYPE	AWNING	FIXED	AWNING	AWNING
GLAZING	DOUBLE GLAZED; CLEAR	DOUBLE GLAZED; CLEAR	DOUBLE GLAZED; OBSCURED	DOUBLE GLAZED; OBSCURED
FRAME	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM

DOOR SCHEDULE						
ID	D-01	D-02	SD-01	SD-02	SD-03	SD-04
QUANTITY	1	1	1	1	1	1
RELATED ZONE NAME	SITTING / THEATRE	L'DRY	OFFICE / RUMPUS	PASS.	BALCONY	KITCHEN
HEIGHT	2,400	2,400	2,400	2,400	2,400	2,400
WIDTH	1,110	910	2,400	1,800	2,350	3,270
VIEW FROM EXTERNAL SIDE						
TYPE	HINGED	HINGED	SLIDER	SLIDER	SLIDER	SLIDER
GLAZING	DOUBLE GLAZED; CLEAR	DOUBLE GLAZED; CLEAR	DOUBLE GLAZED; CLEAR	DOUBLE GLAZED; CLEAR	DOUBLE GLAZED; CLEAR	DOUBLE GLAZED; CLEAR
FRAME	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM

Ch-03



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TYPE A LOT - BAY VIEW VILLA

PROJECT

1 CASUARINA CRESCENT
JURIEN BAY
SHIRE OF DANDARAGAN

CLIENT NAME

JURIEN BAY RESORT PTY LTD, 10 DAVENPORT
STREET, KARRINYUP, WA 6018. C/O TOM TIERNEY

SHEET

3D PERSPECTIVES

INITIAL DESIGNER
DR

DATE PRINTED
6/03/2026

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DRAWING No.
21 of 22



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TYPE A LOT - BAY VIEW VILLA

PROJECT

1 CASUARINA CRESCENT
JURIEN BAY
SHIRE OF DANDARAGAN

CLIENT NAME

JURIEN BAY RESORT PTY LTD, 10 DAVENPORT
STREET, KARRINYUP, WA 6018. C/O TOM TIERNEY

SHEET

3D PERSPECTIVES

INITIAL DESIGNER
DR

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