

Transmittal History				
Issue	DrawingID	Name	Revision	Changes
01, Transmittal Set, 20/10/2025 2:27 PM				
	1	3D ELEVATIONS	01	
	2	COMPLIANCE NOTES	01	
	3	SITE PLAN	01	
	4	GF SLAB SETOUT	01	
	5	UF SLAB SETOUT	01	
	6	ROOF TERRACE SLAB SETOUT	01	
	7	GF FLOOR PLAN	01	
	8	UF FLOOR PLAN	01	
	9	ROOF TERRACE PLAN	01	
	10	ELEVATIONS	01	
	11	GF ELECTRICAL	01	
	12	UF ELECTRICAL	01	
	13	ROOF TERRACE ELECTRICAL	01	
	14	SECTION	01	
	15	DETAILS	01	
	16	INTERNAL LAYOUTS	01	
	17	INTERNAL LAYOUTS	01	
	18	INTERNAL LAYOUTS	01	
	19	WINDOWS & DOORS SCHEDULE	01	
	20	3D PERSPECTIVES	01	
	21	3D PERSPECTIVES	01	
02, Transmittal Set, 5/11/2025 9:48 AM				
	10	ELEVATIONS	02	Ch-01
	14	SECTION	02	Ch-01
	16	STAIRS LAYOUT	02	Ch-01
03, Transmittal Set, 6/11/2025 2:19 PM				
	8	UF FLOOR PLAN	03	Ch-02
	10	ELEVATIONS	03	Ch-02
	14	SECTION	03	Ch-02
04, Transmittal Set, 9/02/2026 9:21 AM				
	4	GF SLAB SETOUT	02	Ch-03
	5	UF SLAB SETOUT	02	Ch-03
	7	GF FLOOR PLAN	02	Ch-03
	8	UF FLOOR PLAN	04	Ch-03
	9	ROOF TERRACE PLAN	02	Ch-03
	10	ELEVATIONS	04	Ch-03
	11	GF ELECTRICAL	02	Ch-03
	12	UF ELECTRICAL	02	Ch-18
	14	SECTION	04	Ch-03
	17	INTERNAL LAYOUTS	02	Ch-03
	19	INTERNAL LAYOUTS	02	Ch-03
	20	WINDOWS & DOORS SCHEDULE	02	Ch-03
05, Transmittal Set, 25/02/2026 2:47 PM				
	8	UF FLOOR PLAN	05	Ch-04
	10	ELEVATIONS	05	Ch-04
	20	WINDOWS & DOORS SCHEDULE	03	Ch-04
06, Transmittal Set, 3/03/2026 10:12 AM				
	3	SITE PLAN	02	Ch-05
	7	GF FLOOR PLAN	03	Ch-05
	11	GF ELECTRICAL	03	Ch-05



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DESIGN COMPLIANCE SPECIFICATION

THIS SPECIFICATION IS TO BE READ IN CONJUNCTION WITH THE CERTIFICATE OF DESIGN COMPLIANCE, FINAL ARCHITECTURAL DRAWINGS, BUILDER'S SPECIFICATIONS, AND ANY TECHNICAL CERTIFICATES (ENERGY EFFICIENCY DOCUMENTATION, STRUCTURAL ENGINEERS' DRAWINGS).

IT IS THE RESPONSIBILITY OF THE BUILDING PERMIT OWNER (BUILDER) TO ENSURE ALL CONDITIONS OF THIS SPECIFICATION, AS STATED UNDER SECTION 3, ARE STRICTLY ADHERED TO. DEVIATION FROM THE PRESCRIBED CERTIFICATION CONDITIONS WOULD RENDER THE WORKS NON-COMPLIANT, AND FURTHER APPROVALS MAY BE REQUIRED BEFORE WORKS MAY CONTINUE.

1. BUILDING CHARACTERISTICS

- BUILDING DESCRIPTION: RESIDENTIAL DWELLING
- BUILDING CLASSIFICATION: CLASS 1a, 10a, 10b

2. PRECAUTIONS DURING CONSTRUCTION

- ANY WORKS THAT MAY ADVERSELY AFFECT LAND ON ADJOINING PROPERTY, OR THAT ENCROACH BEYOND THE BOUNDARIES OF THE WORKS LAND, MUST NOT BE UNDERTAKEN WITHOUT THE RELEVANT NECESSARY CONSENTS BEING OBTAINED, AS REQUIRED BY PART 6 DIVISION 2 OF THE BUILDING ACT 2011. IN ACCORDANCE WITH PART 6 DIVISION 3 OF THE BUILDING ACT 2011, NOTABLE EVENTS THAT REQUIRE SUCH CONSENTS ARE IDENTIFIED AS -
- A. PART OF A BUILDING OR STRUCTURE IS PLACED INTO, ONTO OR OVER LAND BEYOND THE BOUNDARIES OF THE WORKS LAND;
 - B. LAND BEYOND THE BOUNDARIES OF THE WORKS LAND IS ADVERSELY AFFECTED;
 - C. A PROTECTION STRUCTURE IS PLACED INTO OR ONTO LAND BEYOND THE BOUNDARIES OF THE WORKS LAND;
 - D. THE STRUCTURAL, WATERPROOFING, OR NOISE INSULATION CAPACITY OF A PARTY WALL OR A SUBSTANTIAL DIVIDING FENCE SHARED WITH THE WORKS LAND, OR A BOUNDARY RETAINING WALL THAT PROTECTS LAND BEYOND THE BOUNDARIES OF THE WORKS LAND, IS AFFECTED;
 - E. A FENCE, GATE OR OTHER BARRIER TO LAND ON OR BEYOND THE BOUNDARIES OF THE WORKS LAND IS REMOVED;
 - F. IN DOING THE WORK A PERSON GOES ONTO OTHER LAND.

AS PER THE TERMS DEFINED IN THE BUILDING ACT 2011, ADVERSELY AFFECT LAND INCLUDES

- A. REDUCE THE STABILITY OR BEARING CAPACITY OF THE LAND OR A BUILDING OR STRUCTURE ON THE LAND; OR
- B. DAMAGE, OR REDUCE THE STRUCTURAL ADEQUACY OF, A BUILDING OR STRUCTURE ON THE LAND; OR
- C. THE CHANGING OF THE NATURAL SITE DRAINAGE IN A WAY THAT REDUCES THE EFFECTIVENESS OF THE DRAINAGE OF THE LAND OR EXISTING OR FUTURE BUILDINGS OR STRUCTURES ON THE LAND.

3. CONDITIONS OF COMPLIANCE

- 1. A NOTICE AND REQUEST FOR CONSENT TO WORK AFFECTING OTHER LAND (BA20A FORM) IS TO BE OBTAINED PRIOR TO COMMENCEMENT OF CONSTRUCTION WHERE:
 - THERE IS A NEED TO REMOVE A DIVIDING FENCE (S 80 OF THE BUILDING ACT 2011).
 - ACCESS THE ADJOINING LAND IS REQUIRED (S 81 OF THE BUILDING ACT 2011).
 - WORK AFFECTS A PARTY WALL, SUBSTANTIAL DIVIDING FENCE OR A BOUNDARY RETAINING WALL (S79 OF THE BUILDING ACT 2011).
- 2. ALL MATERIALS AND WORKMANSHIP TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS, APPLICABLE CONSTRUCTION MANUALS AND NCC PART.
- 3. ANY WORKS SHOWN AS "FUTURE" OR "PART OF NEXT STAGE" OR MARKED AS SUCH ON THE APPROVED PLANS ARE NOT INCLUDED IN THIS APPROVAL. THESE WORKS MAY REQUIRE SEPARATE CERTIFICATE OF DESIGN COMPLIANCE APPROVAL.
- 4. CONCRETE TO COMPLY WITH AS 3600.
- 5. ALL STORMWATER MUST BE CONTAINED ON-SITE AND BE DESIGNED & INSTALLED IN ACCORDANCE WITH AS 3500.3.
- 6. TIMBER FRAMING MUST ADHERE TO AS 1684 PART 1 OR PART 2, AS APPLICABLE TO THE WIND REGION (CYCLONIC OR NON-CYCLONIC).
- 7. METAL SHEET ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH AS 1562.1.
- 8. ALL GLAZING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH AS 2047 AND AS 1288, AS APPLICABLE.
- 9. MECHANICAL VENTILATION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH AS 1668. EXHAUST SYSTEMS WITHIN ANY KITCHEN, LAUNDRY, BATHROOM OR SANITARY COMPARTMENT MUST BE DESIGNED AND INSTALLED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS, PART 10.6.2.
- 10. HARD-WIRED, INTERCONNECTED SMOKE ALARMS MUST BE INSTALLED IN ACCORDANCE WITH ABCB HOUSING PROVISION, PART 9.5 AND AS 3786. SMOKE ALARMS ARE TO BE INSTALLED BETWEEN THE KITCHEN AND SLEEPING AREAS FOR GROUND FLOOR DWELLINGS AND MUST BE INSTALLED BETWEEN THE KITCHEN AND SLEEPING AREAS AND THE TOP & BOTTOM OF ANY INTERNAL CONNECTING STAIRWAYS IN DWELLING MORE THAN SINGLE STOREY.

- 11. PROTECTIVE COATINGS FOR STEELWORK MUST COMPLY WITH ABCB HOUSING PROVISIONS, PART 6.3.9.
- 12. WATERPROOFING OF WET AREAS MUST COMPLY WITH ABCB HOUSING PROVISIONS, PART 10.2.
- 13. WEATHERPROOFING OF MASONRY MUST COMPLY WITH ABCB HOUSING PROVISIONS, PART 5.7.
- 14. VAPOR BARRIERS AND DAMP-PROOF MEMBRANES MUST COMPLY WITH ABCB HOUSING PROVISIONS, PART 4.2.8.
- 15. PHYSICAL TERMITE BARRIERS MUST SATISFY THE INSTALLATION REQUIREMENTS OF AS 3660.1 AND BE INSTALLED ALONG THE EXTERNAL BOUNDARY WALLS.

IF SPRAY TERMITE BARRIER IS TO BE USED, REFER TO APPROVED NCC PERFORMANCE SOLUTION.
- 16. A DURABLE NOTICE, FOR THE REGISTRATION OF PESTICIDES (TERMITE TREATMENT) MUST BE FIXED TO THE BUILDING IN A PROMINENT AND ACCESSIBLE LOCATION - PREFERABLY THE EXTERNAL ELECTRICAL DISTRIBUTION/METER BOX.
- 17. THE CONCRETE SLAB SHALL BE CONSTRUCTED IN ACCORDANCE WITH AS 2870, WITH TERMITE COLLARS ON ANY PIPE PENETRATIONS THROUGH THE SLAB.
- 18. UPPER FLOOR BEDROOM WINDOWS, WHERE THE SILL IS LESS THAN 1.7M ABOVE THE FINISHED FLOOR LEVEL (OF THE EXTERNAL SURFACE) MUST BE PROTECTED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS, PART 11.3.7.
- 19. THICKNESS AND TYPE OF GLAZING SHALL BE SELECTED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS, PART 8.
- 20. DOWNPIPES WILL BE INSTALLED TO THAT THEY DO NOT SERVE MORE THAN 12M OF GUTTER EACH AND LOCATED AS CLOSE AS POSSIBLE TO VALLEYS. THE SIZE OF DOWNPIPES AND GUTTER SHALL ADHERE WITH ABCB HOUSING PROVISIONS, PART 7.4.5.
- 21. RESIDENTIAL CROSSTOVERS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE LOCAL AUTHORITY'S GUIDELINES/POLICY.
- 22. CONSTRUCTION OF STAIRS SHALL ADHERE WITH ABCB HOUSING PROVISIONS, PART 11.2. PARTICULARS INCLUDE -

- NOT MORE THAN 18 & NOT LESS THAN 2 RISERS IN EACH FLIGHT.
- GOING IN RISER DIMENSIONS IN ACCORDANCE WITH TABLE 11.2.2a.
- CONSTANT GOING & RISER DIMENSIONS.
- NO OPENINGS GREATER THAN 125MM.

- 23. CARE IS TO BE TAKEN SO AS NOT TO UNDERMINE ANY EXISTING STRUCTURES ON THE ADJOINING PROPERTIES.
- 24. THE EXTERNAL FINISHED SURFACE SURROUNDING THE SLAB ON GROUND MUST BE DRAINED TO MOVE SURFACE WATER AWAY FROM THE BUILDING. TYPICALLY, THE FINISHED SURFACE MUST BE GRADED 50MM OVER THE FIRST 1M FROM THE BUILDING. ALTERNATIVELY, THE SLAB ON GROUND MUST BE FINISHED AT A HEIGHT OF NO LESS THAN 100MM ABOVE THE FINISHED GROUND LEVEL (INCREASED TO 150MM IN CLAY AREAS).

IF FLUSH THRESHOLD, REFER TO APPROVED NCC PERFORMANCE SOLUTION.
- 25. DOORS TO ROOMS WITH A TOILET, WHERE THERE IS NOT 1.2M CLEARANCE BETWEEN THE DOOR AND THE TOILET, WILL BE PROVIDED WITH LIFT-OFF HINGES.
- 26. SELECTED TIMBER & COMPOSITE WALL/FAÇADE CLADDING MUST BE SELECTED AND INSTALLED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS, PART 7.5.
- 27. OPENINGS IN EXTERNAL WALL CLADDING MUST BE FLASHED WITH MATERIALS COMPLYING WITH ABCB HOUSING PROVISIONS, PART 7.5.6 AND AS/NZS 2904.
- 28. BUILDING ELEMENTS IN WET AREAS MUST BE WATERPROOF AND WATER RESISTANT IN ACCORDANCE WITH ABCB HOUSING PROVISIONS, PART 10.2.
- 29. FOR SINGLE SKIN FRAMED EXTERNAL WALLS, A PLIABLE BUILDING MEMBRANE MUST BE INSTALLED. THIS MEMBRANE MUST COMPLY WITH AS/NZS 4200.1, BE INSTALLED IN ACCORDANCE WITH AS 4200.2, AND BE LOCATED ON THE EXTERIOR SIDE OF THE INSULATION LAYER OF WALL ASSEMBLIES THAT FORM THE EXTERNAL BUILDING ENVELOPE.
- 30. WALL CLADDING SYSTEMS SHALL CONFORM WITH THE SELECTED MANUFACTURERS INSTALLATION GUIDE.

UPDATED: 01/05/2025

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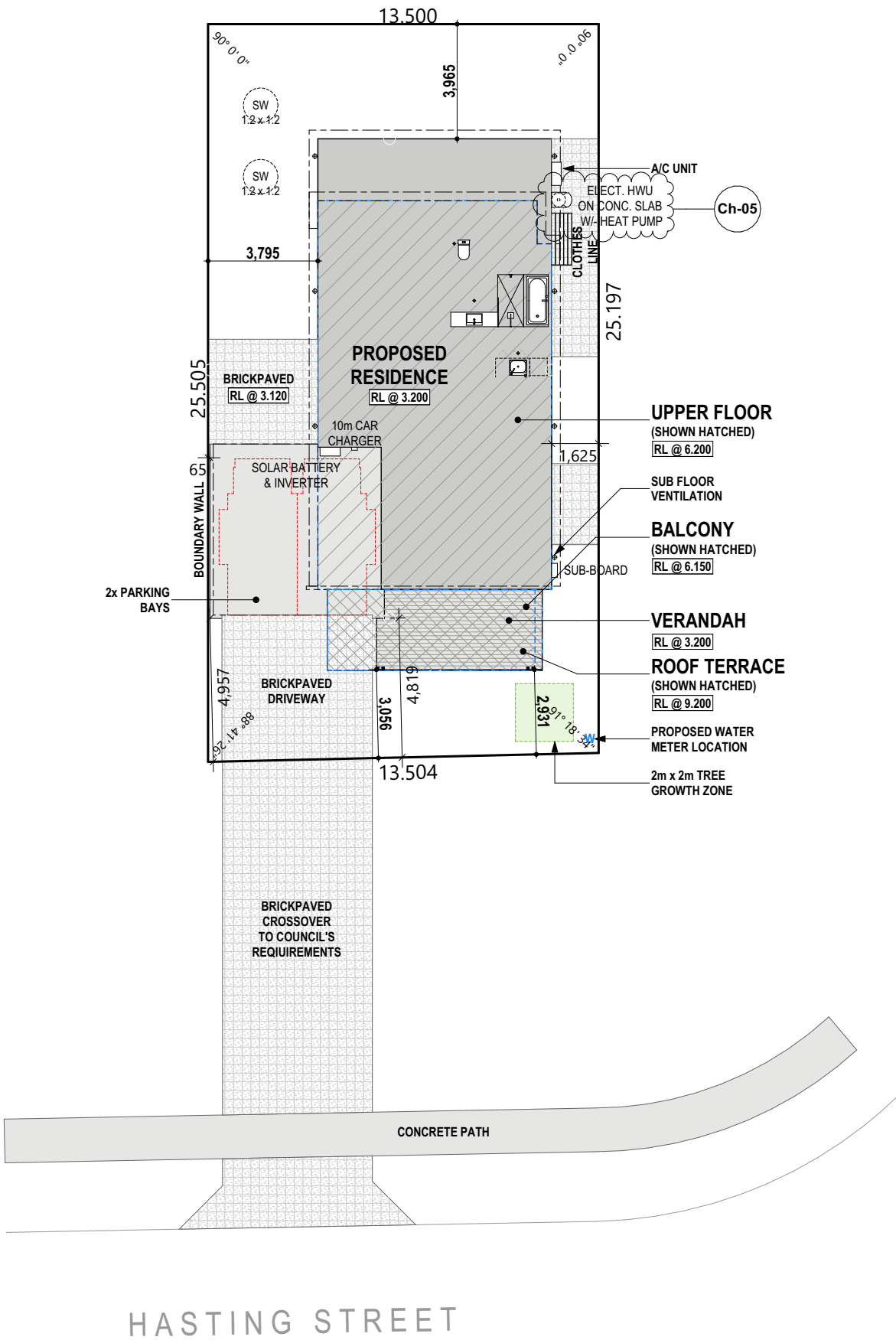
SITE COVERAGE

ZONED	R20
% ALLOWED	50%
SITE AREA	342.24m2
SITE COVER	150.68m2

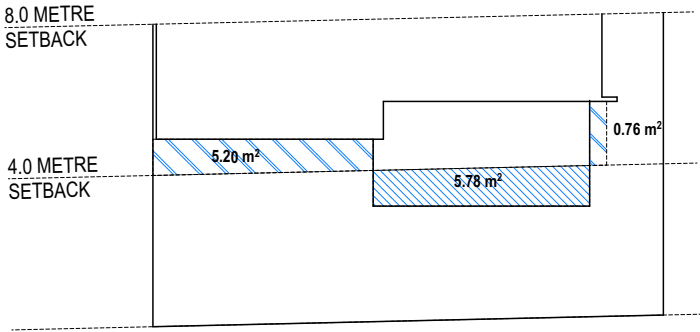
SITE COV. =44.0%

Soak Well Type	No.	
SW 1200x1200	2	2.7 m3
Total Capacity		2.7 m3
Roof Area GF		44.3 m2
Roof Area UF		138.3 m2
Total Area		182.6 m2
Capacity Required (Area x 0.0125)		2.3 m3
Extra Capacity Provided		0.4 m3

COASTAL AREA



HASTING STREET



SET-BACK AVERAGING	
	BEHIND 4m LINE
	5.20
	0.76
	Total = 5.96m2
	IN FRONT OF 4m LINE
	5.78
	Total = 5.78m2
5.96m2 -5.78m2 = 0.18m2	

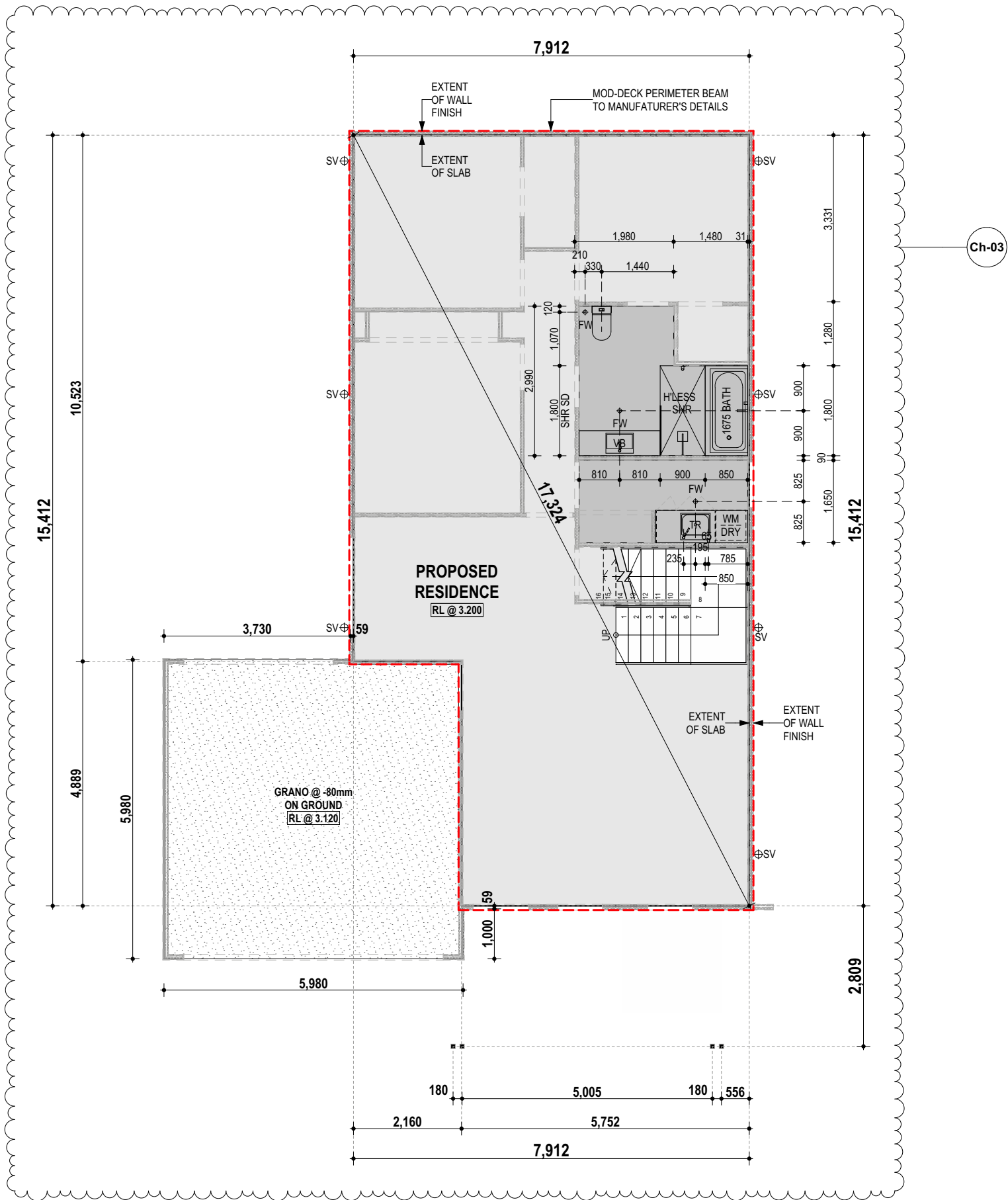
SITE PLAN
1:200

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TYPE B LOT - HASTING'S VILLA

PROJECT	1 CASUARINA CRESCENT JURIEN BAY SHIRE OF DANDARAGAN
CLIENT NAME	JURIEN BAY RESORT PTY LTD, 10 DAVENPORT STREET, KARRINYUP, WA 6018. C/O TOM TIERNEY

SHEET SITE PLAN	
INITIAL DESIGNER DR	DATE PRINTED 3/03/2026
PAPER PRINTED @A3	DRAWING No. 3 of 22



GF SLAB SETOUT
1:100

GENERAL NOTES:

- ALL DIMENSIONS TO BE VERIFIED ON SITE BEFORE COMMENCING ANY WORK.
- ALL DIMENSIONS STRICTLY TO TAKE PREFERENCE OVER SCALING.
- ANY DISCREPANCIES WHICH MAY ARISE ARE TO BE QUERIED WITH THE BUILDER BEFORE CONTINUING.
- ANY DISCREPANCIES MUST BE REFERRED TO THE BUILDER OR THE SUBCONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR WORKS.
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEERS DETAILS AND OTHER CONSULTANTS DETAILS.
- REFER TO ENGINEER'S DETAILS FOR CONCRETE SLAB & FOOTING SPECIFICATIONS.
- ALL WORKS TO BE CARRIED OUT TO RELEVANT AUSTRALIAN STANDARDS, NCC REQUIREMENTS & RELEVANT AUTHORITIES. WORK TO BE DONE IN A GOOD AND WORKMAN LIKE MANNER AND TO THE ENTIRE SATISFACTION OF THE BUILDER.

SETOUT NOTES:

- SLAB & PLUMBING SETOUT MEASURED FROM EDGE OF SLAB

TERMITE MANAGEMENT NOTE:

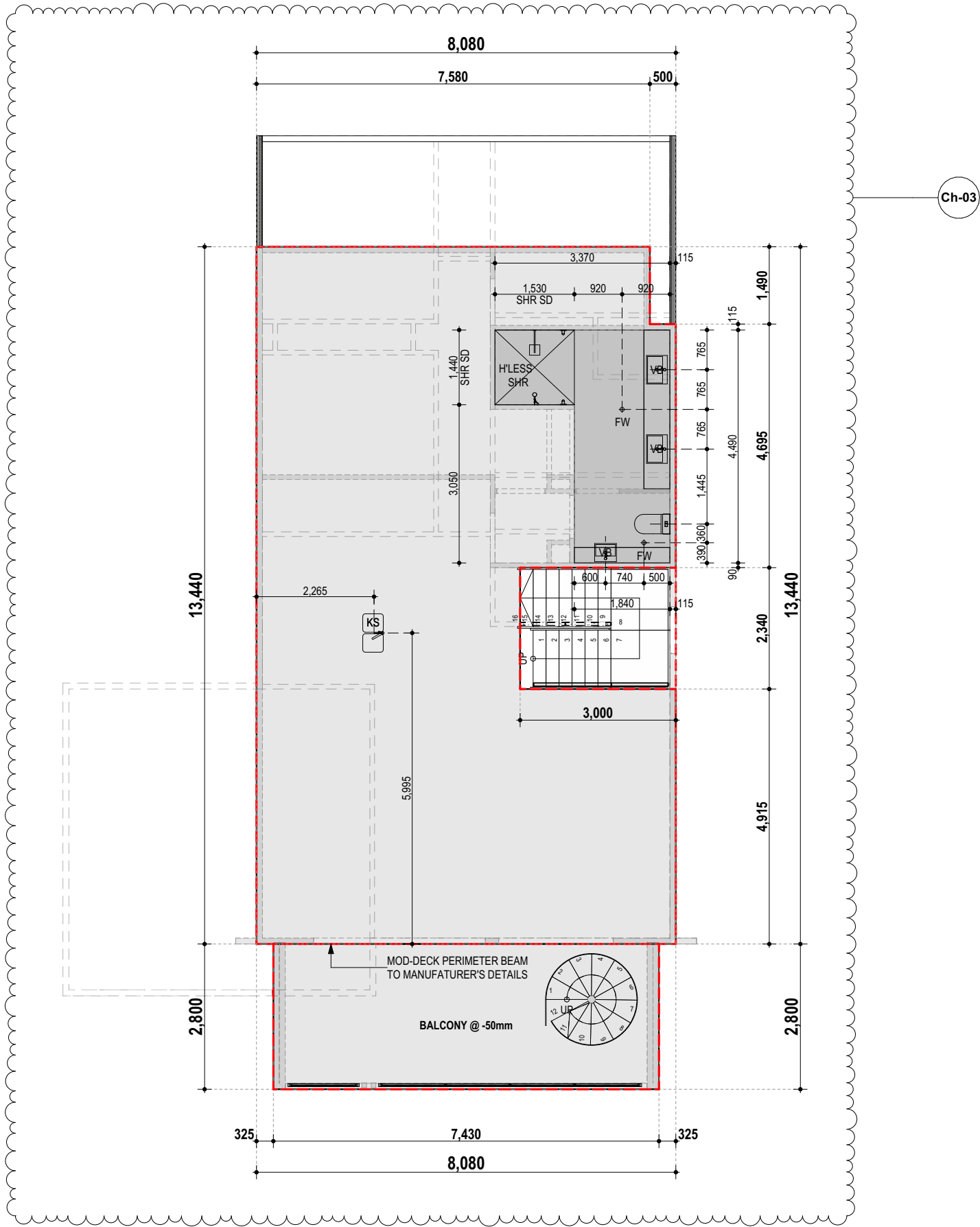
- TERMITE TREATMENT TO COMPLY WITH BCA 3.1.4 AND AS3660.1 INCLUDING BOUNDARY TREATMENT

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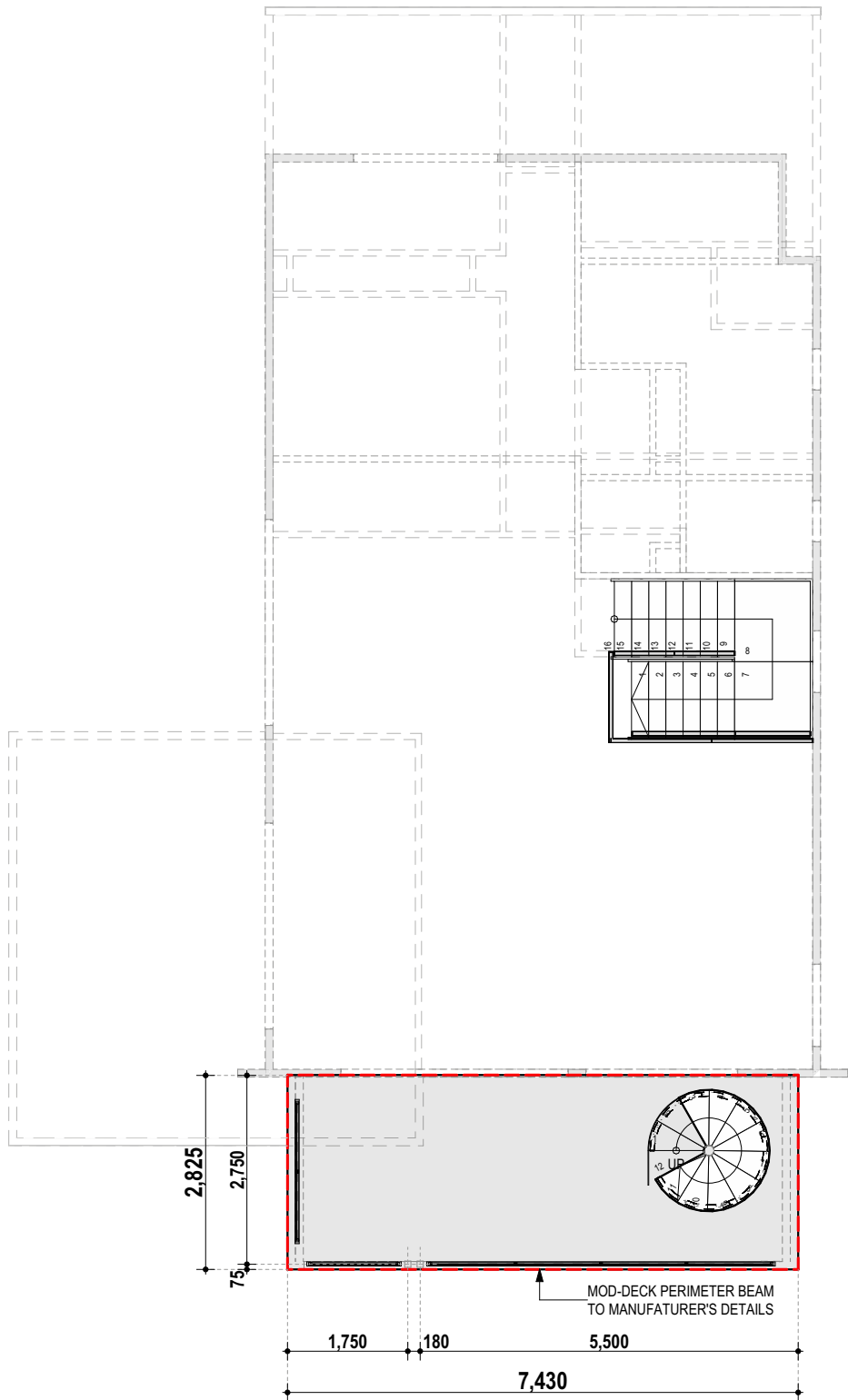
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- SLAB & PLUMBING SETOUT MEASURED FROM EDGE OF SLAB

- TERMITE MANAGEMENT NOTE:**
- TERMITE TREATMENT TO COMPLY WITH BCA 3.1.4 AND AS3660.1 INCLUDING BOUNDARY TREATMENT

UF SLAB SETOUT
1:100

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	REV.	ITEMS	DRN	PM	DATE																																																							
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PAPER PRINTED @A3	DRAWING No. 5 of 22																																																											



ROOF TERRACE SLAB SETOUT
1:100

GENERAL NOTES:

- ALL DIMENSIONS TO BE VERIFIED ON SITE BEFORE COMMENCING ANY WORK.
- ALL DIMENSIONS STRICTLY TO TAKE PREFERENCE OVER SCALING.
- ANY DISCREPANCIES WHICH MAY ARISE ARE TO BE QUERIED WITH THE BUILDER BEFORE CONTINUING.
- ANY DISCREPANCIES MUST BE REFERRED TO THE BUILDER OR THE SUBCONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR WORKS.
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEERS DETAILS AND OTHER CONSULTANTS DETAILS.
- REFER TO ENGINEER'S DETAILS FOR CONCRETE SLAB & FOOTING SPECIFICATIONS.
- ALL WORKS TO BE CARRIED OUT TO RELEVANT AUSTRALIAN STANDARDS, NCC REQUIREMENTS & RELEVANT AUTHORITIES. WORK TO BE DONE IN A GOOD AND WORKMAN LIKE MANNER AND TO THE ENTIRE SATISFACTION OF THE BUILDER.

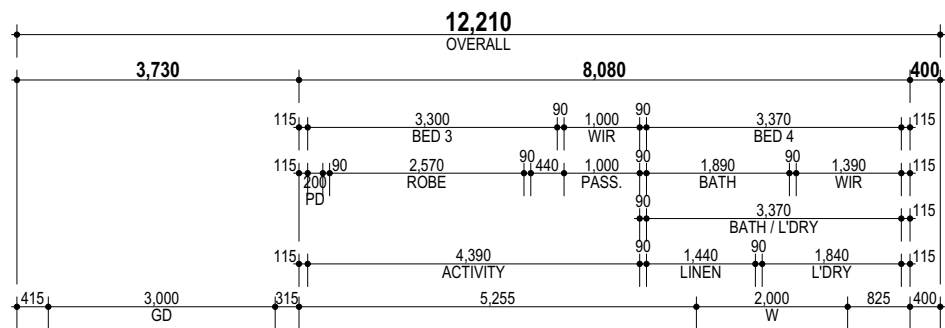
SETOUT NOTES:

- SLAB & PLUMBING SETOUT MEASURED FROM EDGE OF SLAB

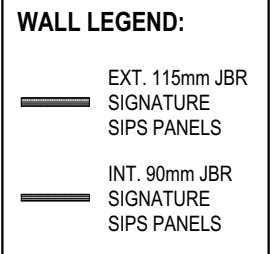
TERMITE MANAGEMENT NOTE:

- TERMITE TREATMENT TO COMPLY WITH BCA 3.1.4 AND AS3660.1 INCLUDING BOUNDARY TREATMENT

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ROOF AREAS:	
GF ROOF AREA	44.28
UF ROOF AREA	138.32



**THIS DRAWING IS TO BE READ IN
CONJUNCTION WITH SOIL
REPORT, STRUCTURAL DRAWING,
ENERGY REPORT, BAL REPORT,
AND ACOUSTIC REPORT.**

- TERMITE TREATMENT TO COMPLY WITH
BCA 3.1.4 AND AS3660.1 INCLUDING
BOUNDARY TREATMENT

• DIMENSIONS ARE TO BE TAKEN FROM WALL FINISH TO BOUNDARY.

- BOUNDARY LOCATION SHOWN IN THIS DRAWING IS INDICATIVE ONLY. LICENSED SURVEYOR TO LOCATE THE PEGS AT TRUE BOUNDARY.
- BUILDER TO CHECK ALL SETBACKS FROM THE TRUE B'DRY. IF ANY ISSUE, CONTACT THE OFFICE PRIOR TO CONSTRUCTION.

ROOF:
TIMBER FRAMING
KLIP-LOK - UNVENTED
NO INSULATION REQUIRED

CEILINGS:
R6.0 BULK INSULATION TO FLAT CEILING
R5.0 TO RAKED CEILING

WALLS:
EXTERNAL
115w JBR SIPS PANELS

INTERNAL
90w JBR SIPS PANELS

FLOOR:
MOD-DECK SLAB

GLAZING:
DOUBLE GLAZED ALUMINUM

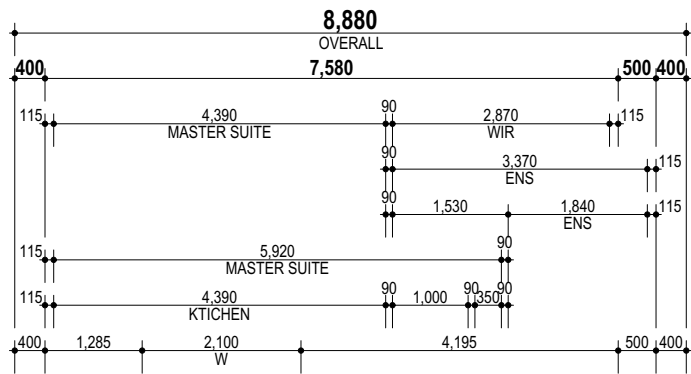
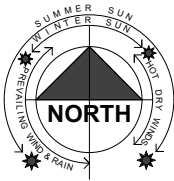
*ENERGY ASSESSOR IS TO CONTACT
KDG IF ANY CHANGE

GROUND FLOOR	-	MOD-DECK SLAB
UPPER FLOOR	-	MOD-DECK SLAB
EXTERNAL WALL	-	115w JBR SIPS PANELS
INTERNAL WALL	-	90w JBR SIPS PANELS
ROOF FRAME	-	TIMBER
ROOF COVER	-	KLIP-LOK
DOORS & WINDOWS	-	DOUBLE GLAZED ALUM.

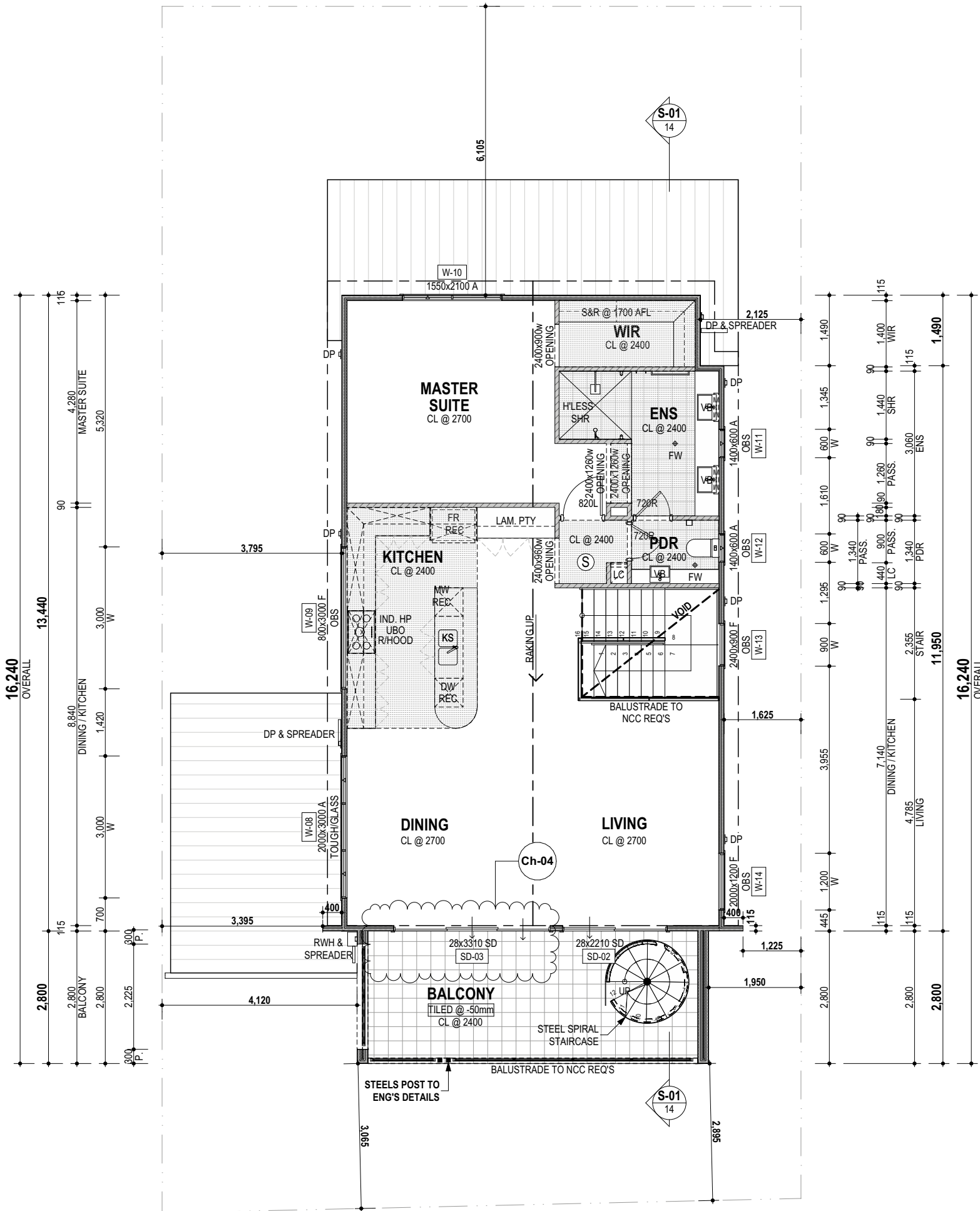
PROJECT	1 CASUARINA CRESCENT JURIEN BAY SHIRE OF DANDARAGAN
CLIENT NAME	JURIEN BAY RESORT PTY LTD, 10 DAVENPORT STREET, KARRINYUP. WA 6018. C/O TOM TIERNEY

SHEET	
GF FLOOR PLAN	
INITIAL DESIGNER DR	DATE PRINTED 3/03/2026
PAPER PRINTED @A3	DRAWING No. 7 of 22





AREAS:	
GARAGE AREA	35.53
GF HOUSE AREA	115.15
ROOF TERRACE AREA	20.10
UF BALCONY AREA	20.80
UF HOUSE AREA	107.85
VERANDAH AREA	15.59
315.02 m²	
ROOF AREAS:	
GF ROOF AREA	44.28
UF ROOF AREA	138.32



WALL LEGEND:	
EXT. 115mm JBR	SIGNATURE
SIPS PANELS	SIPS PANELS
INT. 90mm JBR	SIGNATURE
SIPS PANELS	SIPS PANELS

COASTAL AREA

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH SOIL REPORT, STRUCTURAL DRAWING, ENERGY REPORT, BAL REPORT, AND ACOUSTIC REPORT.

TERMITE MANAGEMENT NOTE:
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• BUILDER TO CHECK ALL SETBACKS FROM THE TRUE B'DRY. IF ANY ISSUE, CONTACT THE OFFICE PRIOR TO CONSTRUCTION.

ENERGY ITEMS LIST:

ROOF:
TIMBER FRAMING
KLIP-LOK - UNVENTED
NO INSULATION REQUIRED

CEILINGS:
R6.0 BULK INSULATION TO FLAT CEILING
R5.0 TO RAKED CEILING

WALLS:
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115w JBR SIPS PANELS

INTERNAL
90w JBR SIPS PANELS

FLOOR:
MOD-DECK SLAB

GLAZING:
DOUBLE GLAZED ALUMINUM

**ENERGY ASSESSOR IS TO CONTACT KDG IF ANY CHANGE*

CONSTRUCTION METHOD:

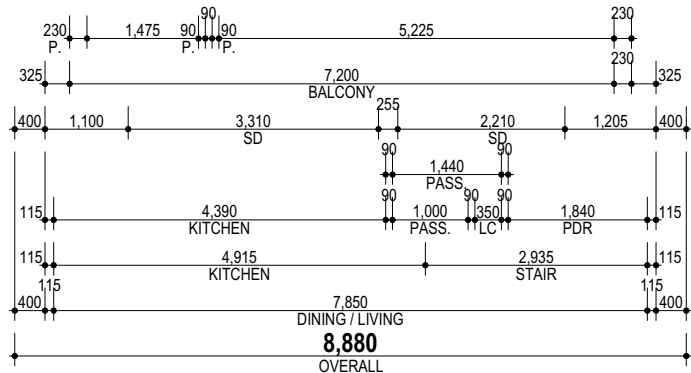
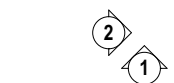
GROUND FLOOR - MOD-DECK SLAB

UPPER FLOOR - MOD-DECK SLAB

EXTERNAL WALL - 115w JBR SIPS PANELS
INTERNAL WALL - 90w JBR SIPS PANELS

ROOF FRAME - TIMBER
ROOF COVER - KLIP-LOK

DOORS & WINDOWS - DOUBLE GLAZED ALUM.



UPPER FLOOR
1:100

REV.	ITEMS	DRN	PM	DATE
B08	CHANGE BUILD METHODOLOGY	DR	DR	24/09/2025
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B12	BP SET - AMENDMENTS	DR	DR	06/11/2025
B13	BP SET - CLIENT AMENDMENTS	DR	DR	06/02/2026
B14	BP SET - CLIENT AMENDMENTS	DR	DR	25/02/2026
B15	BP SET - CLIENT AMENDMENTS	DR	DR	03/03/2026

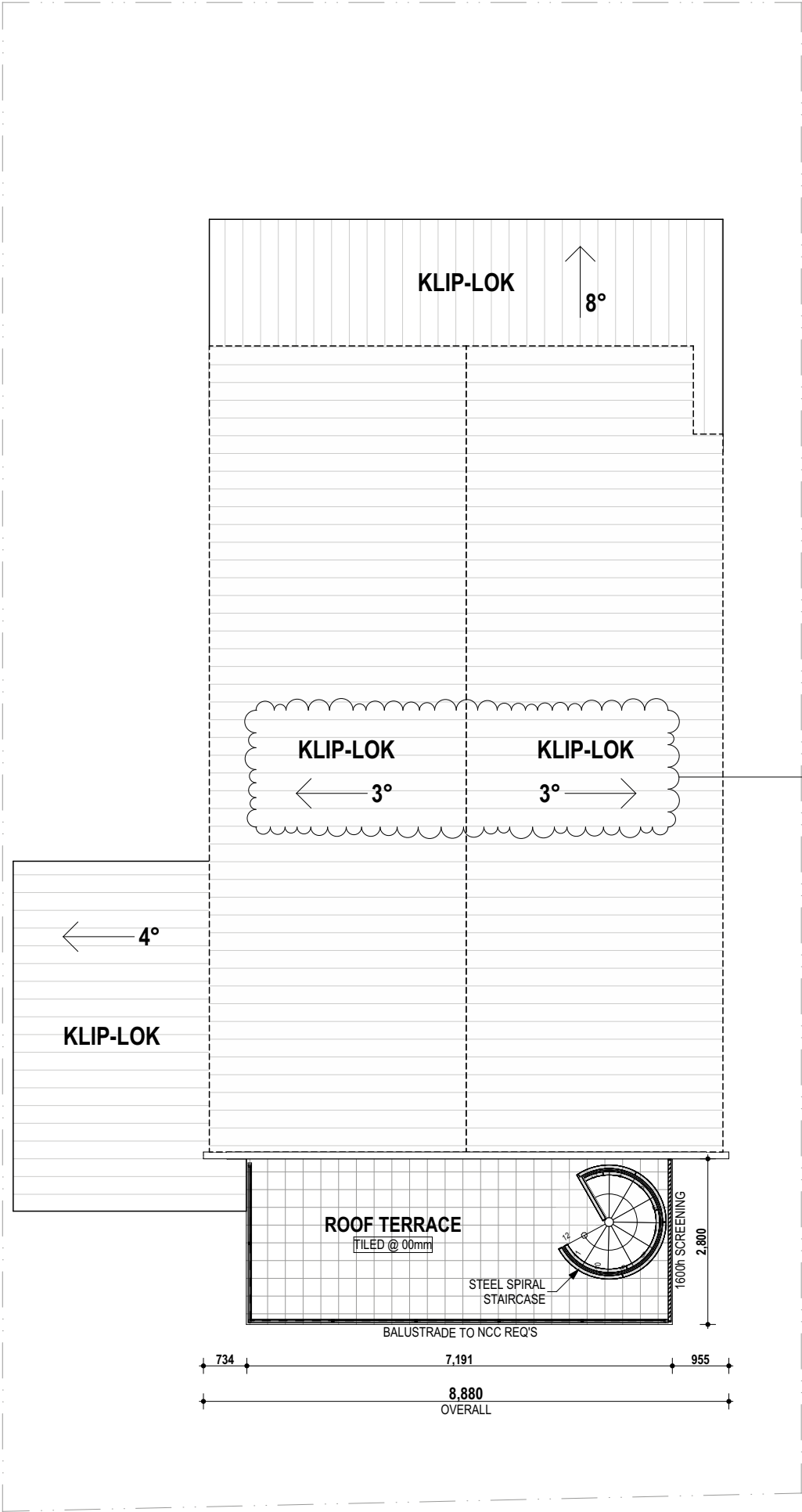
TYPE B LOT - HASTING'S VILLA

PROJECT	
1 CASUARINA CRESCENT JURIEN BAY SHIRE OF DANDARAGAN	
CLIENT NAME	
JURIEN BAY RESORT PTY LTD, 10 DAVENPORT STREET, KARRINYUP, WA 6018. C/O TOM TIERNEY	

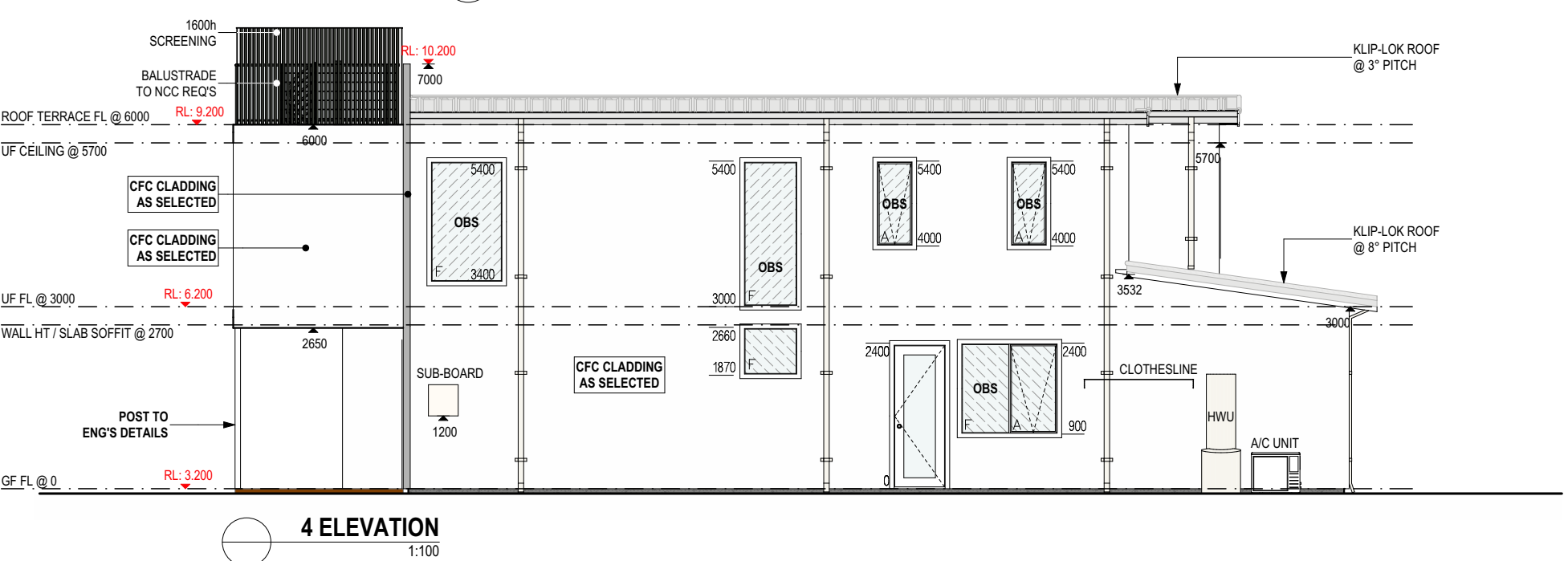
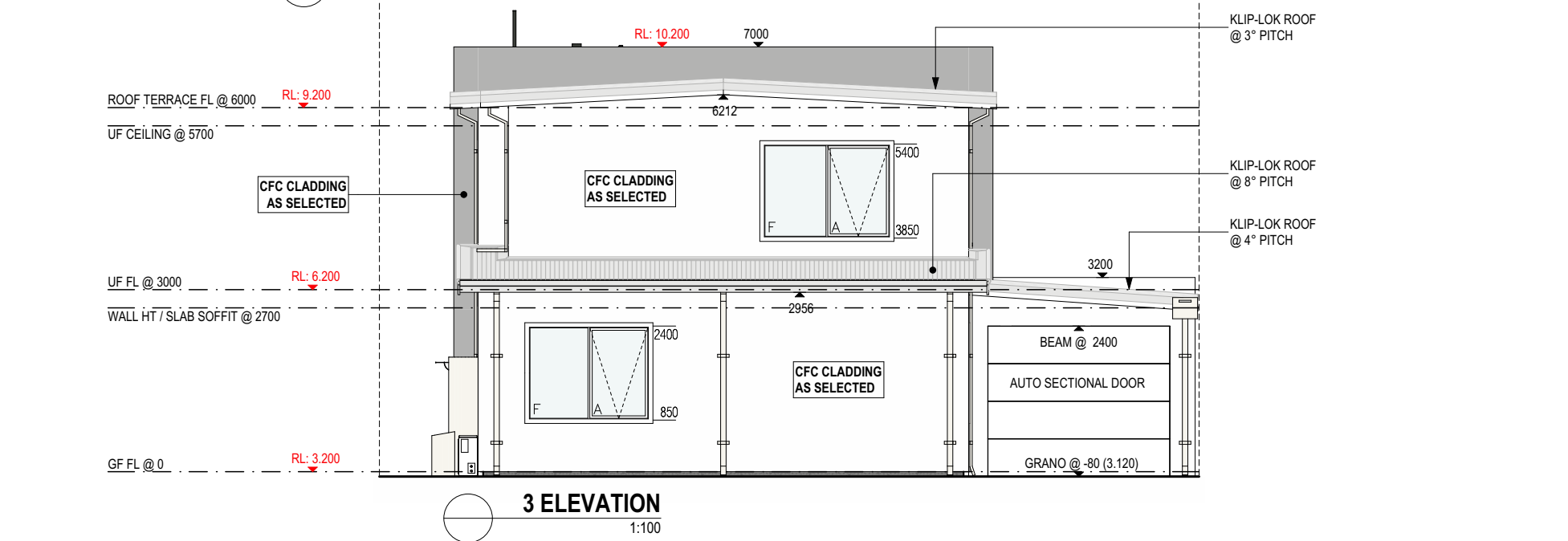
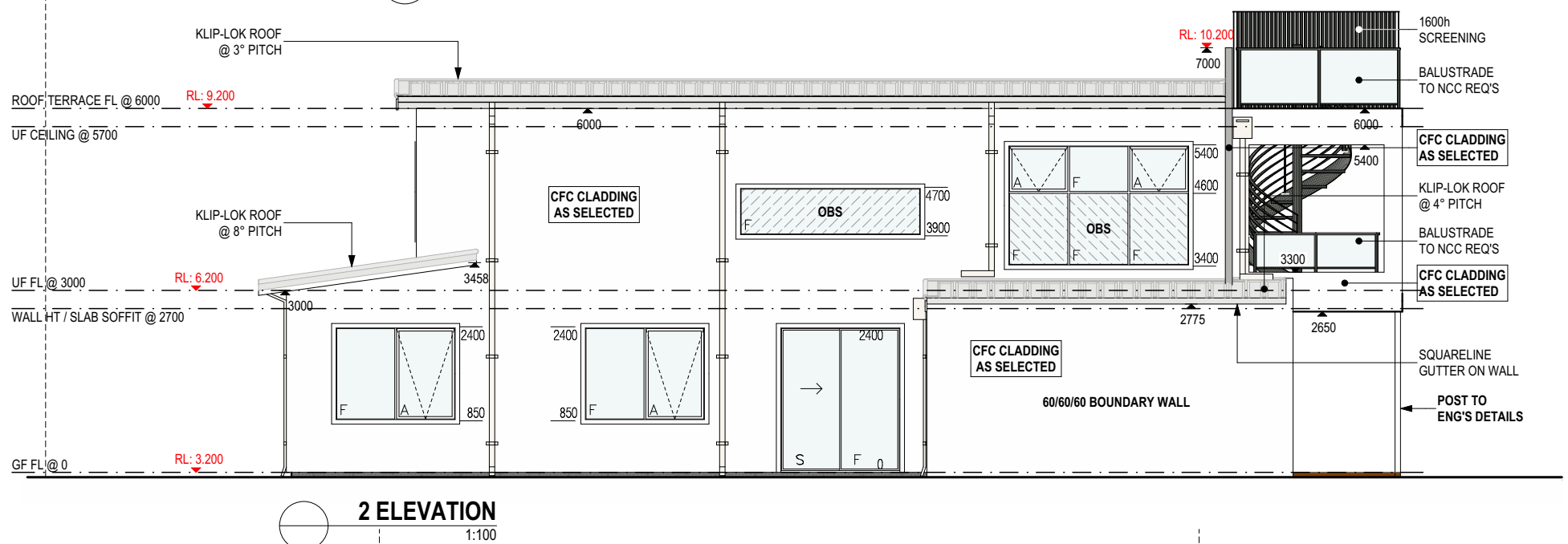
SHEET	
UF FLOOR PLAN	
INITIAL DESIGNER DR	DATE PRINTED 3/03/2026
PAPER PRINTED @A3	DRAWING No. 8 of 22



AREAS:	
GARAGE AREA	35.53
GF HOUSE AREA	115.15
ROOF TERRACE AREA	20.10
UF BALCONY AREA	20.80
UF HOUSE AREA	107.85
VERANDAH AREA	15.59
315.02 m²	
ROOF AREAS:	
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UF ROOF AREA	138.32



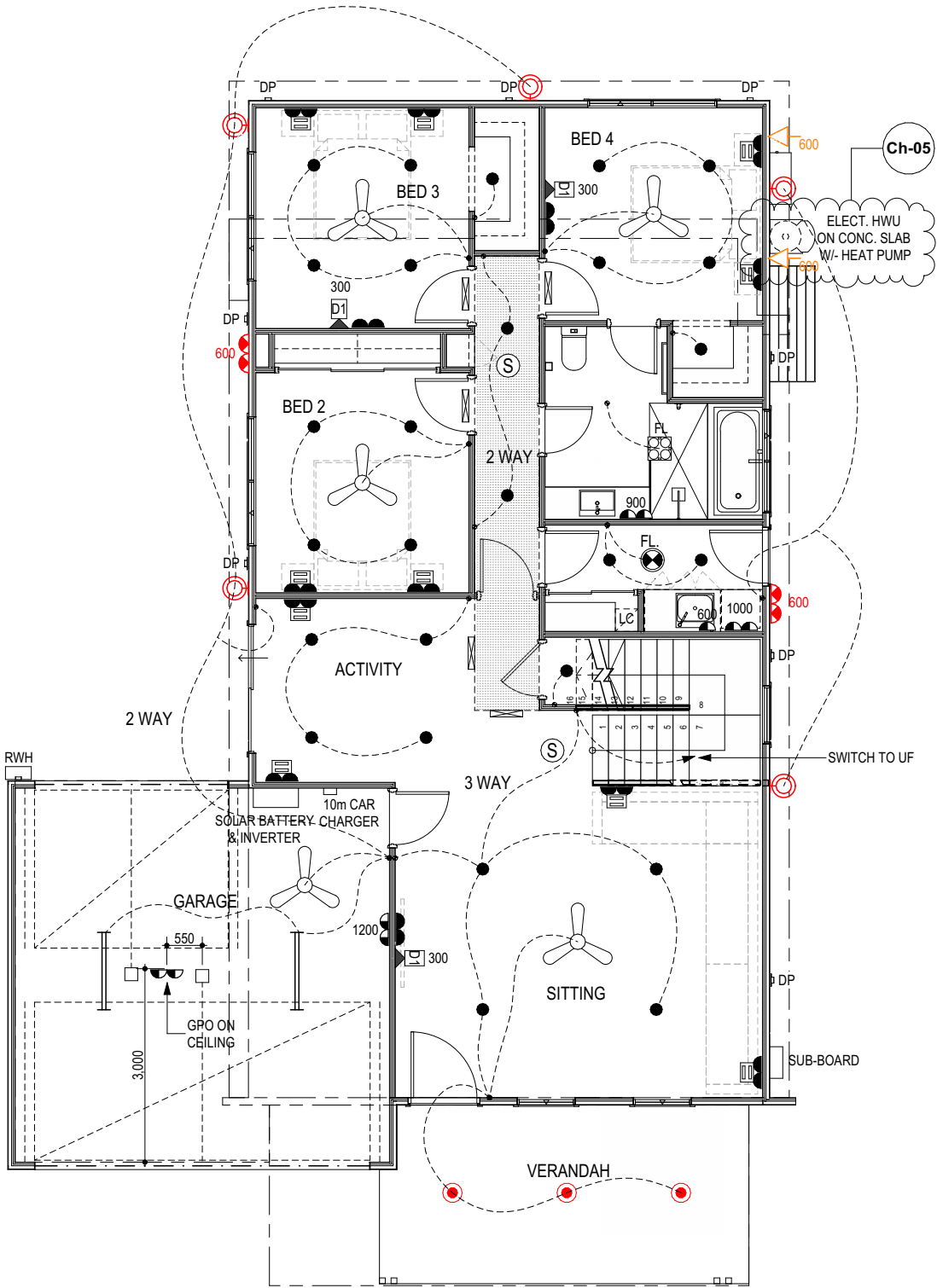
ROOF TERRACE
1:100



ELECTRICAL LEGEND - GROUND FLOOR		
No.	SYMBOL	TYPE
2		1200L LED LIGHT BAR
5		1800mm CEILING FAN (1m DROP)
2	2 WAY	2 WAY CIRCUIT
1	3 WAY	3 WAY CIRCUIT
1		4x HEATER/FAN/LIGHT FLUMED
5		A/C LINEAR WALL VENT
3		DATA POINT
3		DOUBLE GPO @ 300 AFL
10		DOUBLE GPO @ 300 AFL W/USB + USB-C
4		DOUBLE GPO @ NOTED HT
2		DOUBLE WATER PROOF GPO
1		EXHAUST FAN FLUMED
5		EXTERNAL WALL LIGHT
2		H.WIRED SMOKE DETECTOR
2		ISOLATION SWITCH
3		RECESSED EXTERNAL LED DOWN-LIGHT
27		RECESSED LED DOWN-LIGHT
1		SINGLE GPO @ NOTED HT

ELECTRICAL NOTES:

- ALL LIGHT SWITCHES TO BE POSITIONED AT 1350 AFL
- ALL NOMINATED DOWNLIGHTS ARE UNVENTED
- ALL RANGEHOOD AND EXHAUST FANS TO BE SEALED WITH SELF-CLOSING DAMPER
- ALL SMOKE DETECTOR TO BE HARD WIRED AND TO COMPLY WITH AS 3786
- ALL EXTERNAL WALL LIGHTS AND MOTION SENSORS AT 2000 AFL
- ALL INTERNAL WALL LIGHTS AT 1800 AFL
- ALL UNLESS NOTED OTHERWISE



GF ELECTRICAL
1:100

REV.	ITEMS	DRN	PM	DATE
B08	CHANGE BUILD METHODOLOGY	DR	DR	24/09/2025
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B15	BP SET - CLIENT AMENDMENTS	DR	DR	03/03/2026

TYPE B LOT - HASTING'S VILLA

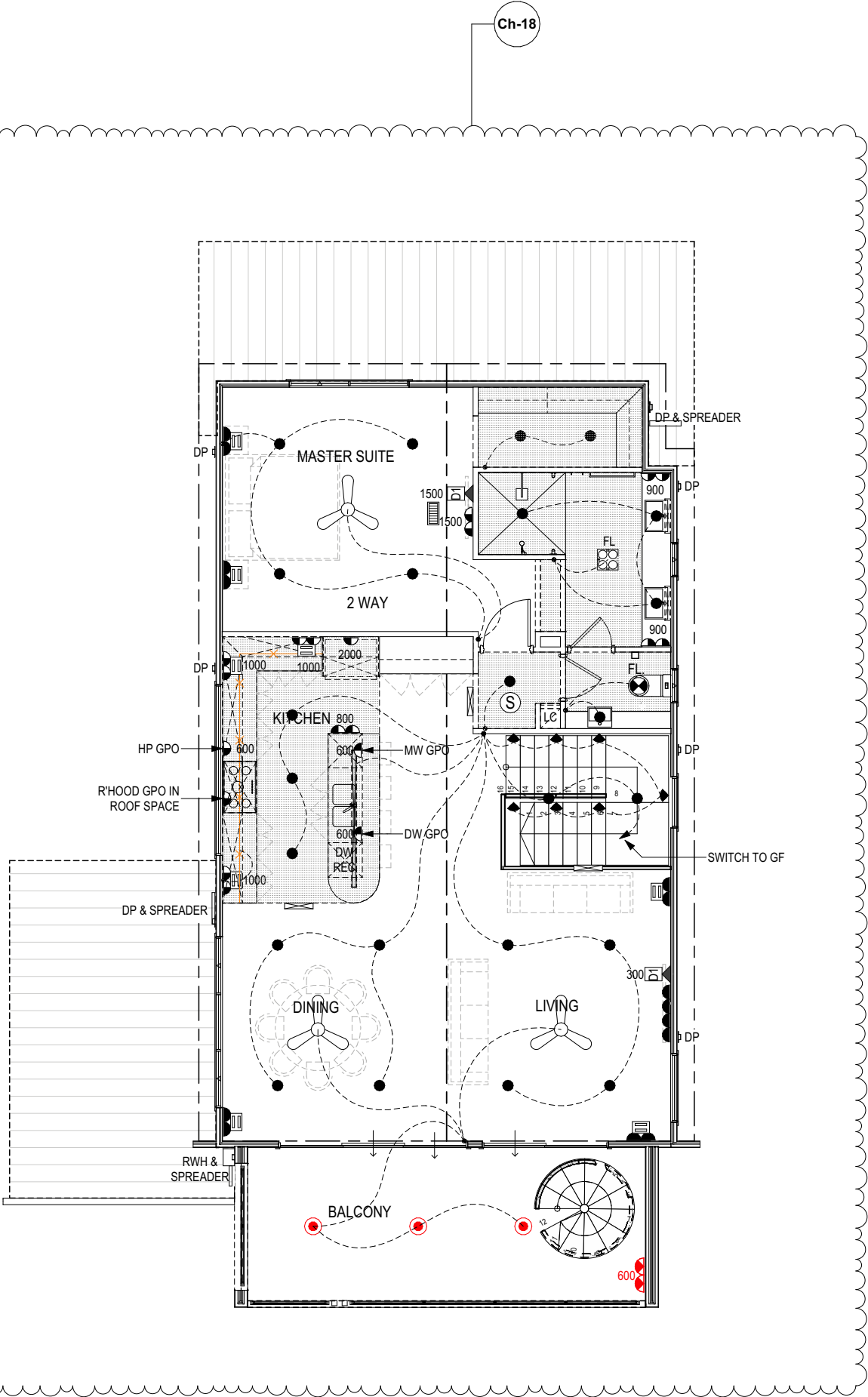
PROJECT	1 CASUARINA CRESCENT JURIEN BAY SHIRE OF DANDARAGAN
CLIENT NAME	JURIEN BAY RESORT PTY LTD, 10 DAVENPORT STREET, KARRINYUP, WA 6018. C/O TOM TIERNEY

SHEET		GF ELECTRICAL	
INITIAL DESIGNER	DR	DATE PRINTED	3/03/2026
PAPER PRINTED	@A3	DRAWING No.	11 of 22

ELECTRICAL LEGEND - UPPER FLOOR		
No.	SYMBOL	TYPE
3		1800mm CEILING FAN (1m DROP)
1	2 WAY	2 WAY CIRCUIT
1		4 GPOs @ 300 AFL
1		4x HEATER/FAN/LIGHT FLUMED
1		A/C CEILING DIFFUSER
3		A/C LINEAR WALL VENT
2		DATA POINT
5		DOUBLE GPO @ 300 AFL W/USB + USB-C
4		DOUBLE GPO @ NOTED HT
3		DOUBLE GPO @ NOTED HT W/USB + USB-C
1		DOUBLE WATER PROOF GPO
1		EXHAUST FAN FLUMED
1		H.WIRED SMOKE DETECTOR
2		LED LIGHT STRIP
3		RECESSED EXTERNAL LED DOWN-LIGHT
24		RECESSED LED DOWN-LIGHT
5		SINGLE GPO @ NOTED HT
7		STAIR TREAD LIGHT - 150mm AFL
1		SUSPENDED LED LIGHT BAR

ELECTRICAL NOTES:

- ALL LIGHT SWITCHES TO BE POSITIONED AT 1350 AFL
- ALL NOMINATED DOWNLIGHTS ARE UNVENTED
- ALL RANGEHOOD AND EXHAUST FANS TO BE SEALED WITH SELF-CLOSING DAMPER
- ALL SMOKE DETECTOR TO BE HARD WIRED AND TO COMPLY WITH AS 3786
- ALL EXTERNAL WALL LIGHTS AND MOTION SENSORS AT 2000 AFL
- ALL INTERNAL WALL LIGHTS AT 1800 AFL
- ALL UNLESS NOTED OTHERWISE



UF ELECTRICAL
1:100

REV.	ITEMS	DRN	PM	DATE
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TYPE B LOT - HASTING'S VILLA

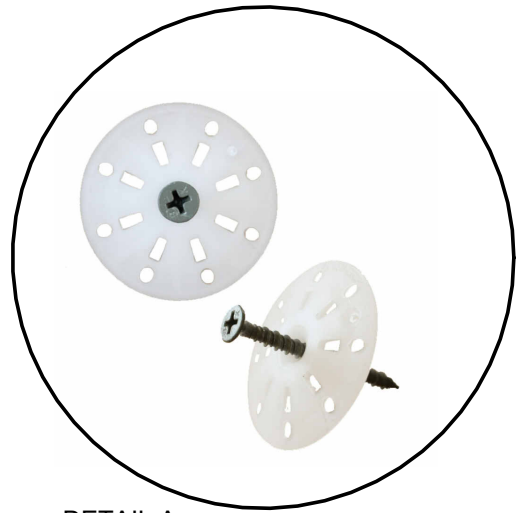
PROJECT	1 CASUARINA CRESCENT JURIEN BAY SHIRE OF DANDARAGAN
CLIENT NAME	JURIEN BAY RESORT PTY LTD, 10 DAVENPORT STREET, KARRINYUP, WA 6018. C/O TOM TIERNEY

SHEET		UF ELECTRICAL	
INITIAL DESIGNER	DR	DATE PRINTED	3/03/2026
PAPER PRINTED	@A3	DRAWING No.	12 of 22

ELECTRICAL LEGEND ROOF TERRACE		
No.	SYMBOL	TYPE
2		EXTERNAL WALL LIGHT



 **ROOF TERRACE**
1:100



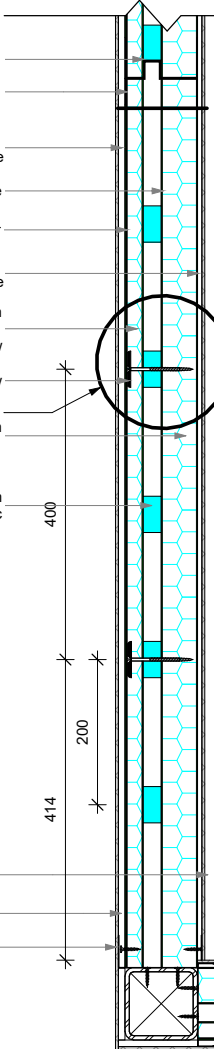
DETAIL A
Rigid insulation counter sunk screw

1.2mm thk. tounge and groove panel female connector
1.2mm thk. tounge and groove panel male connector
9mm thk. 1200mm width celuloce cement fibre board substrate
Aluminum foil membrane
1.0 x 30mm bracing strip with tensioner
6mm thk. 1200mm width celuloce cement fibre board substrate
25mm thk. polyisocyanurate (PIR) wall rigid insulation board/slab c/w with aluminum and mesh membrane with R value of 1.1m2k/w
Countersunk rigid insulation board screw
Refer to detail A
50mm thk. polyisocyanurate (PIR) wall rigid insulation board/slab c/w with aluminum and mesh membrane
50 x 25mm polyisocyanurate (PIR) wall rigid insulation vertical batten at 200mm c/c

4mm thk Phomi modified clay finish to client selection
4mm thk Phomi modified clay finish to client selection
1.2mm thk. 115 x 45mm LGS U channel wall track

1 SIP PANEL TYPE E PLAN VIEW
1 : 5

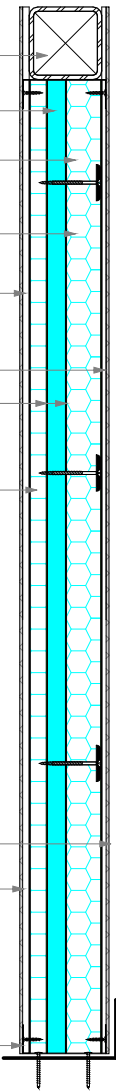
115
9 25 25 50 6



2 SIP PANEL TYPE E SECTION
1 : 5

100x100mm 6 thk. SHS steel beam
50 x 25mm polyisocyanurate (PIR) wall rigid insulation vertical batten at 200mm c/c
Countersunk rigid insulation board screw
50mm thk. polyisocyanurate (PIR) wall rigid insulation board/slab c/w with aluminum and mesh membrane
9mm thk. 1200mm width celuloce cement fibre board substrate
6mm thk. 1200mm width celuloce cement fibre board substrate
Aluminum foil membrane
25mm thk. polyisocyanurate (PIR) wall rigid insulation board/slab c/w with aluminum and mesh membrane with R value of 1.1m2k/w
4mm thk Phomi modified clay finish to client selection
4mm thk Phomi modified clay finish to client selection
1.2mm thk. 140x50mm LGS U channel wall track

115
9 25 25 50 6

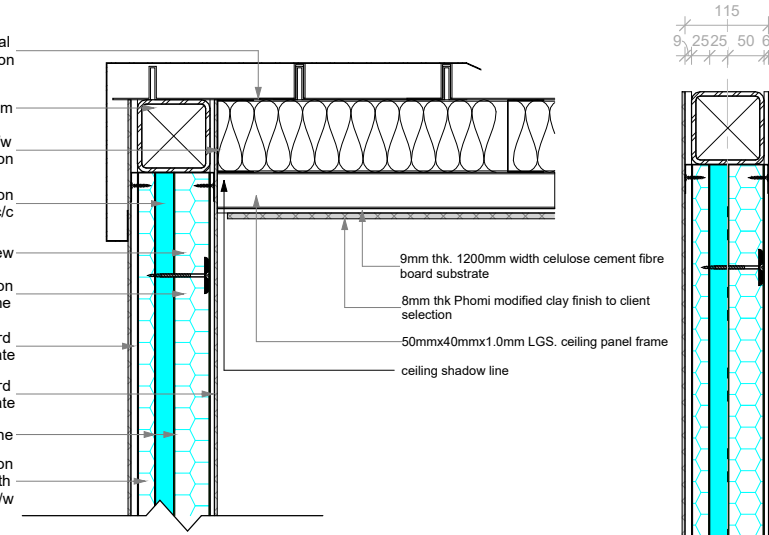


0.6mm bmt 43mm rib depth klip-lok standing seam metal clading to client selection
100x100mm 6 thk. SHS steel beam
100mmx75mmx1.2mm LGS C channel roof studs c/w RW45 rockwool insulation
50 x 25mm polyisocyanurate (PIR) wall rigid insulation vertical batten at 200mm c/c
Countersunk rigid insulation board screw
50mm thk. polyisocyanurate (PIR) wall rigid insulation board/slab c/w with aluminum and mesh membrane
9mm thk. 1200mm width celuloce cement fibre board substrate
6mm thk. 1200mm width celuloce cement fibre board substrate
Aluminum foil membrane
25mm thk. polyisocyanurate (PIR) wall rigid insulation board/slab c/w with aluminum and mesh membrane with R value of 1.1m2k/w

3 SIP PANEL TYPE E SECTION CEILING
1 : 5

Mesh to engr's details
220mm Mod-deck
125mm thk. RC slab finishes to client selection
150mm length R6 corrugated steel starter bar at 600c/c
140x40x1.5mm LGS wall U track
100mm width, 1.2mm thk. wall length LGS wall dripper
150x100x8mm UB
Weatherproof Membrane c/w Bituminous Paint
200x150mm structure steel stump to engr's detail
50x50x3mm steel L angle
50mm concrete strip
Cast iron twist lock
90mm thk. RC slab exterior
M12 anchor bolt hook-side
Compound hardcore support for paving spanning between foundation pads

115
9 25 25 50 6



4 SIP WALL PANEL APPLICATION
1 : 5

CARPORT

INTERIOR

Min 275mm High

REV.	ITEMS	DRN	PM	DATE
B08	CHANGE BUILD METHODOLOGY	DR	DR	24/09/2025
B09	ADDITION OF ROOF TERRACE	DR	DR	08/10/2025
B10	BP SET	MD	DR	17/10/2025
B11	BP SET - STAIR PLAN	PV	DR	04/11/2025
B12	BP SET - AMENDMENTS	DR	DR	06/11/2025
B13	BP SET - CLIENT AMENDMENTS	DR	DR	06/02/2026
B14	BP SET - CLIENT AMENDMENTS	DR	DR	25/02/2026
B15	BP SET - CLIENT AMENDMENTS	DR	DR	03/03/2026

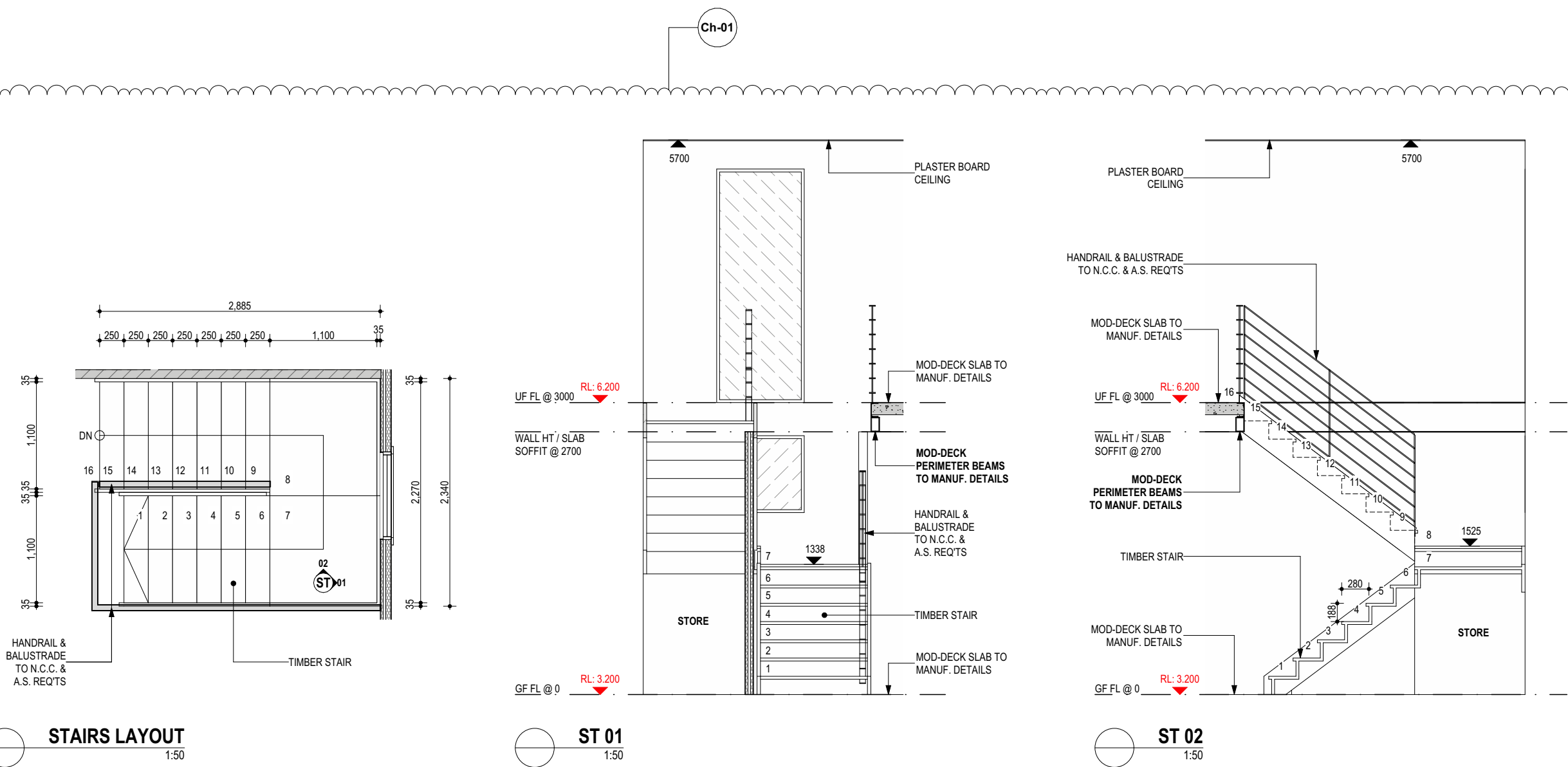
TYPE B LOT - HASTING'S VILLA

PROJECT	1 CASUARINA CRESCENT JURIEN BAY SHIRE OF DANDARAGAN
CLIENT NAME	JURIEN BAY RESORT PTY LTD, 10 DAVENPORT STREET, KARRINYUP, WA 6018. C/O TOM TIERNEY

SHEET	DETAILS
INITIAL DESIGNER DR	DATE PRINTED 3/03/2026
PAPER PRINTED @A3	DRAWING No. 15 of 22

STAIRS NOTE:
CONSTRUCTION OF BALUSTRADES SHALL ADHERE
WITH PART 3.9 OF THE NCC VOLUME TWO.
- NO OPENINGS GREATER THAN 125mm

16 RISERS @ 188/RISER
15 TREADS @ 280/TREAD



REV.	ITEMS	DRN	PM	DATE
B08	CHANGE BUILD METHODOLOGY	DR	DR	24/09/2025
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B15	BP SET - CLIENT AMENDMENTS	DR	DR	03/03/2026

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SHEET	STAIRS LAYOUT
INITIAL DESIGNER DR	DATE PRINTED 3/03/2026
PAPER PRINTED @A3	DRAWING No. 16 of 22



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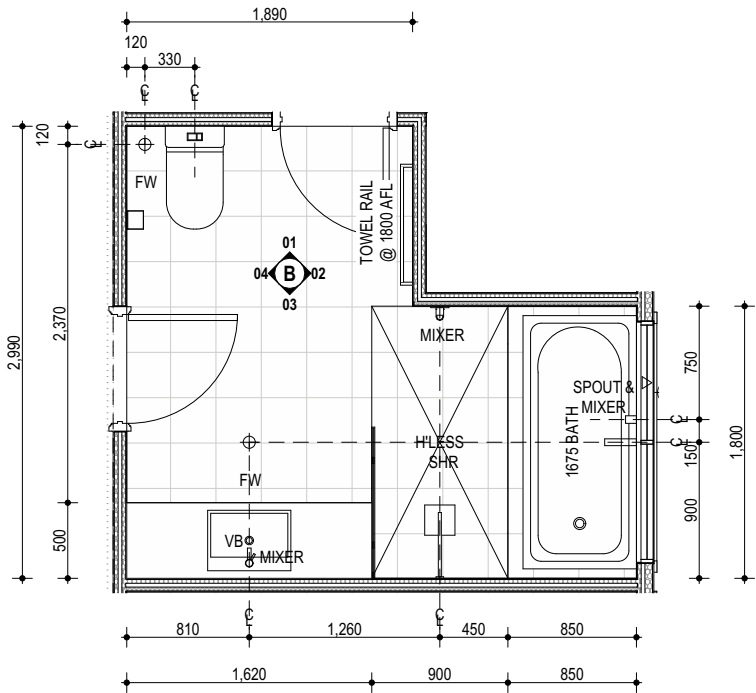
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CLIENT NOTE:

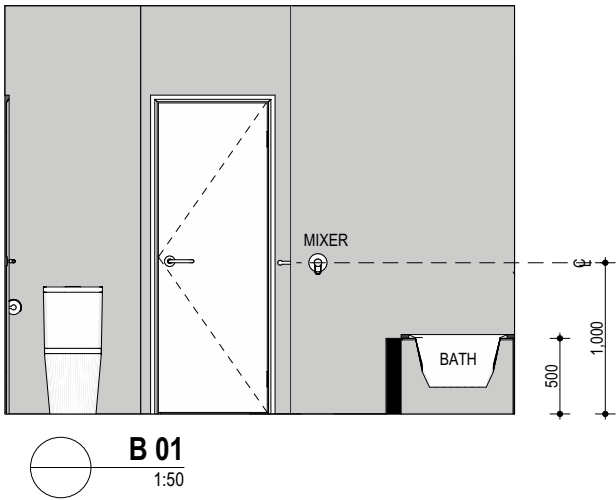
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TILING NOTE:

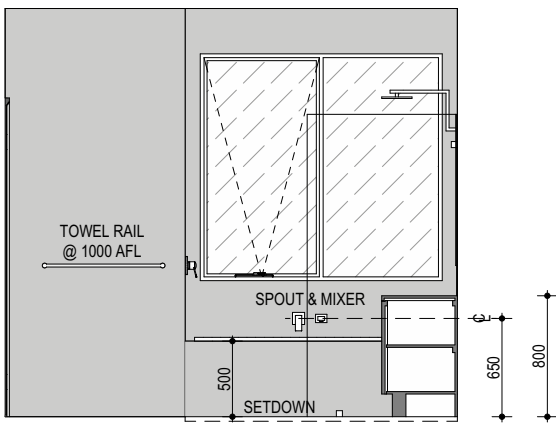
- SHADED FILL DENOTES TILING EXTENT. REFER TO ADDENDA FOR LAYING PATTERN.



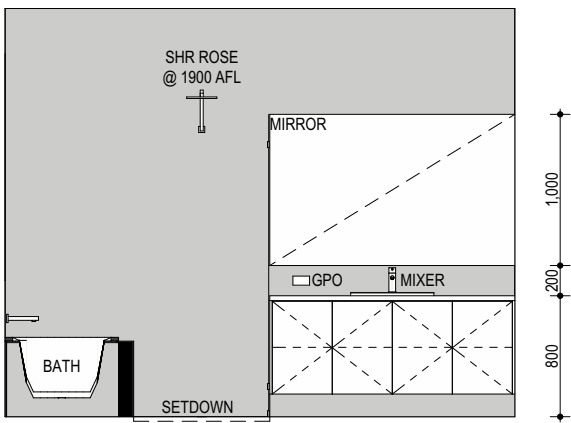
BATH LAYOUT
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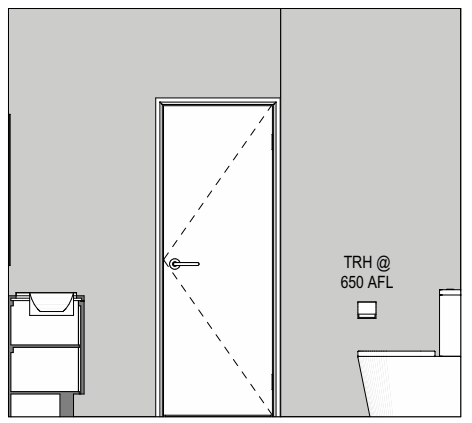
B 01
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B 02
1:50

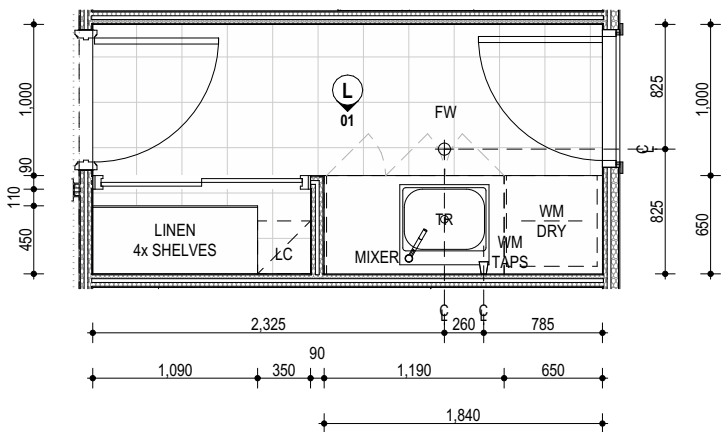


B 03
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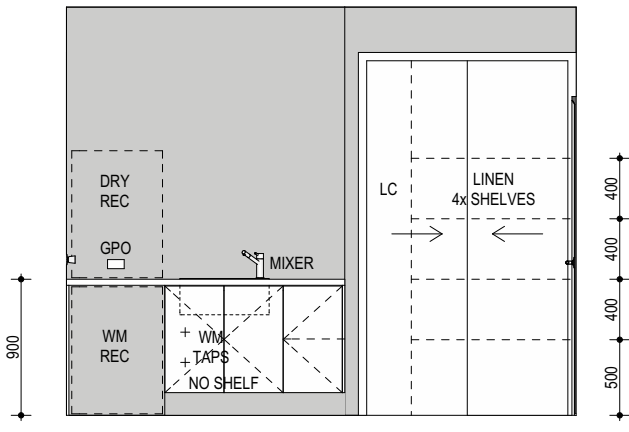


B 04
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Ch-03



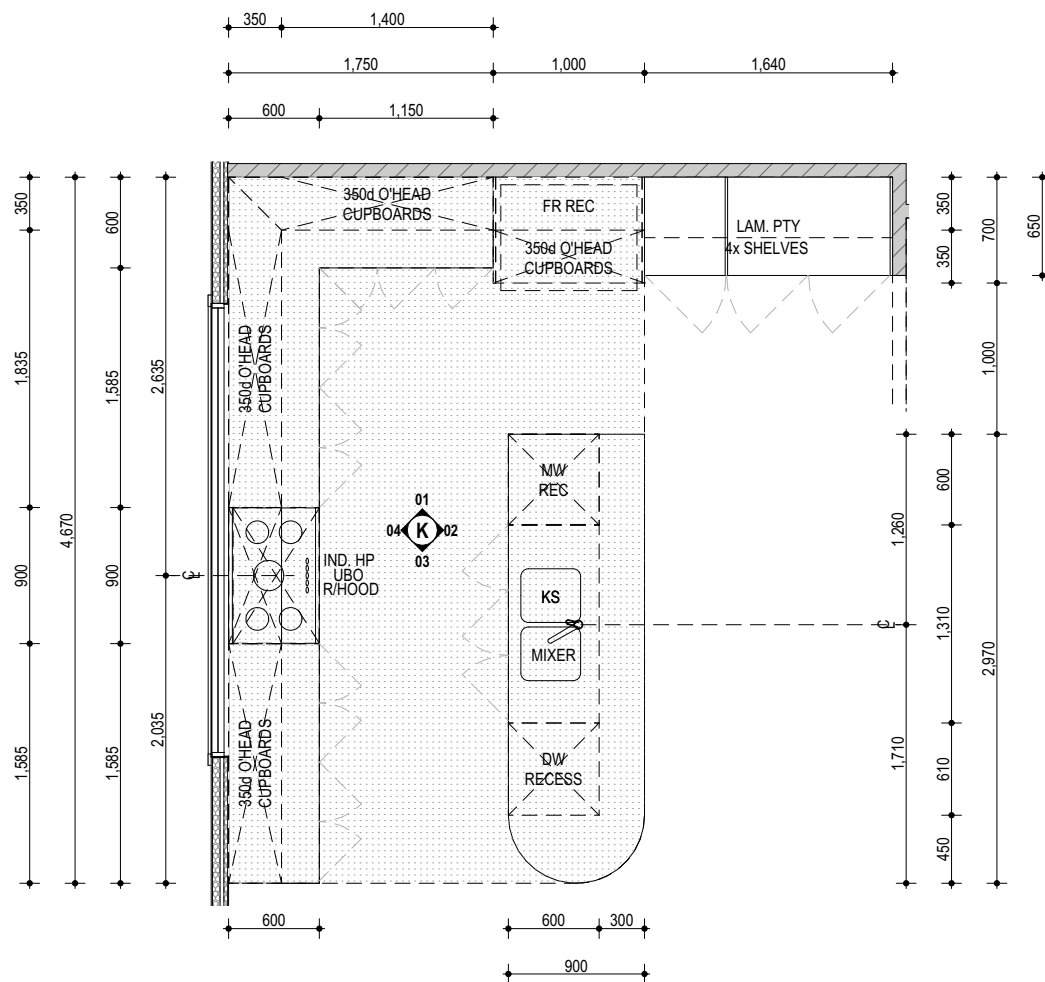
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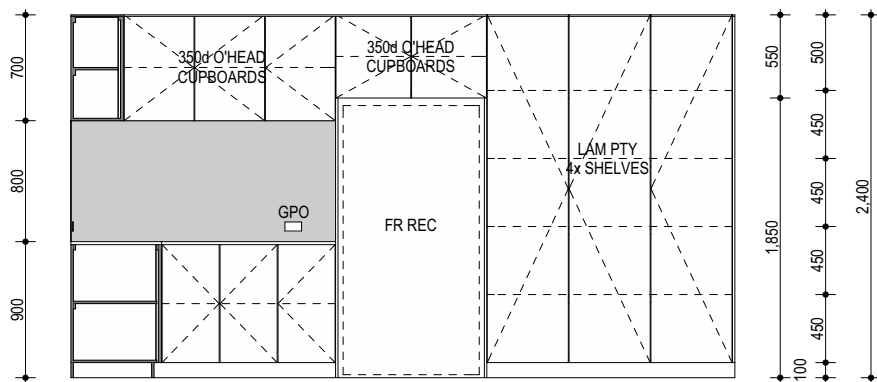
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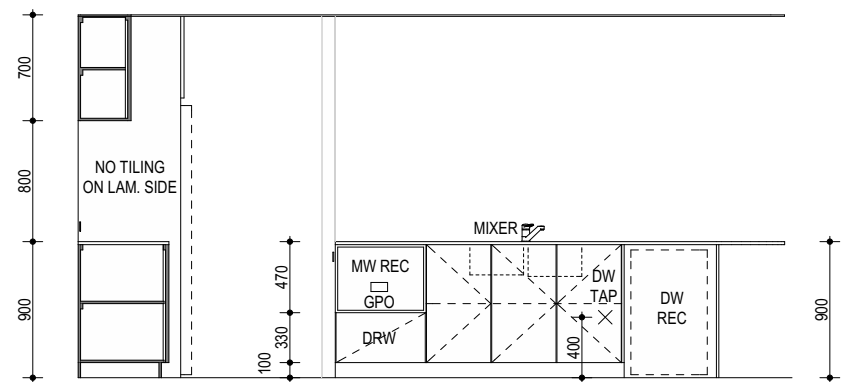
• SHADED FILL DENOTES TILING EXTENT. REFER TO ADDENDA FOR LAYING PATTERN.



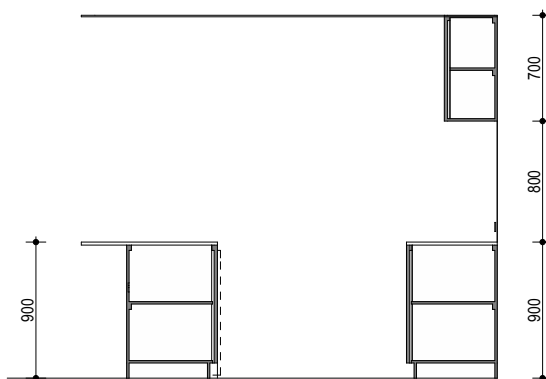
KITCHEN LAYOUT



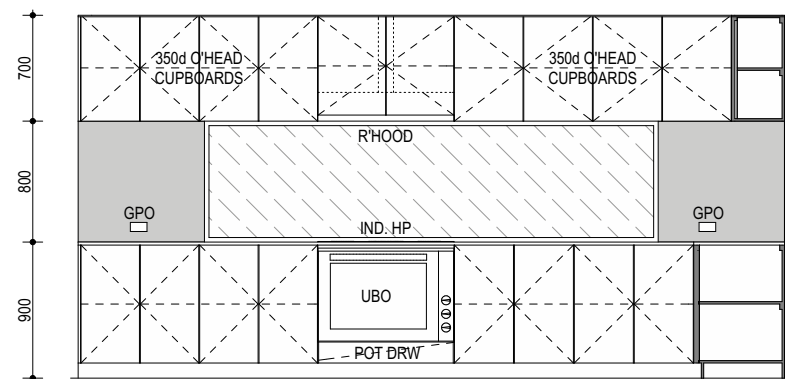
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 **K 02**
1:50



K 03
1:50



 **K 04**
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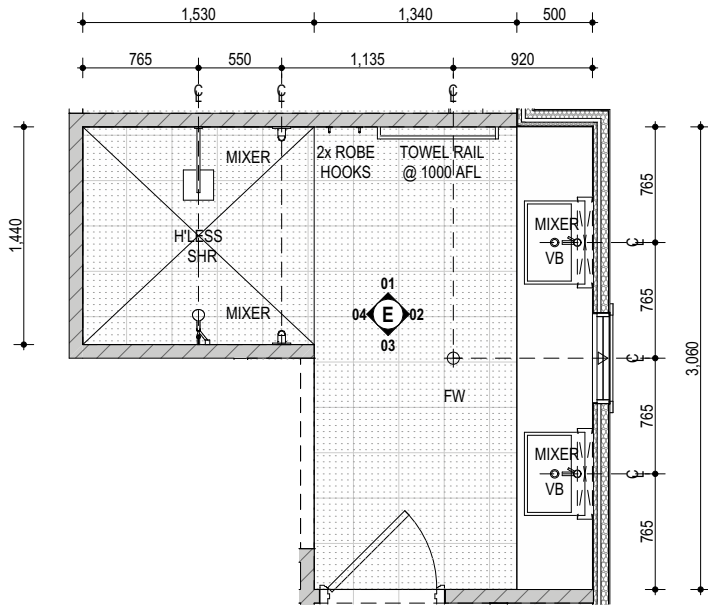
REV.	ITEMS	DRN	PM	DATE
B08	CHANGE BUILD METHODOLOGY	DR	DR	24/09/2025
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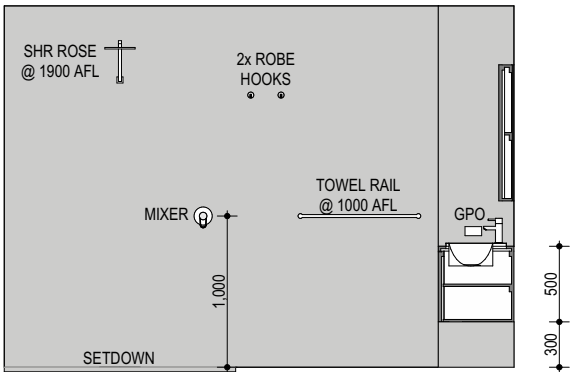
TILING NOTE:

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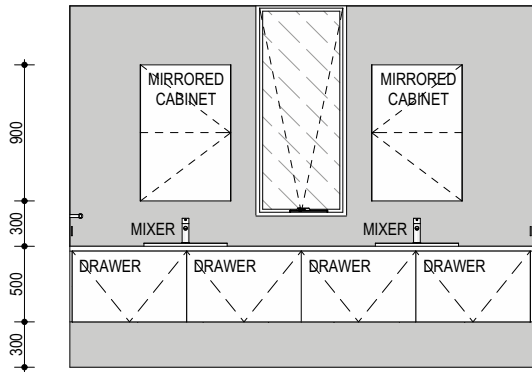
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1:50



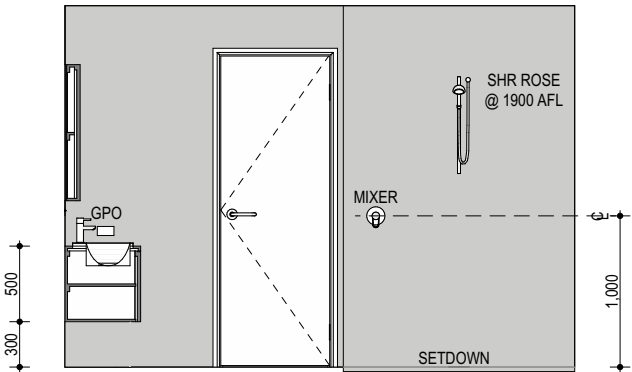
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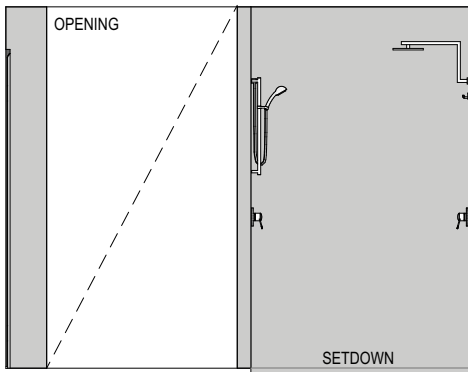
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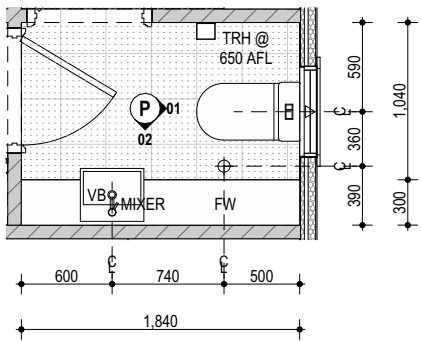
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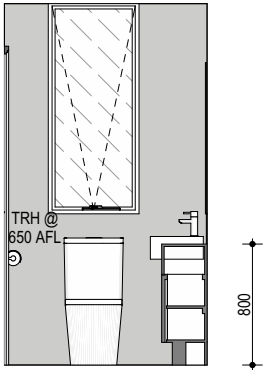
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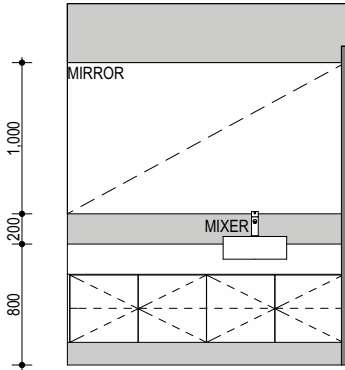
PDR LAYOUT

1:50



P 01

1:50



P 02

1:50



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B15	BP SET - CLIENT AMENDMENTS	DR	DR	03/03/2026

TYPE B LOT - HASTING'S VILLA

PROJECT
**1 CASUARINA CRESCENT
JURIEN BAY
SHIRE OF DANDARAGAN**

CLIENT NAME
JURIEN BAY RESORT PTY LTD, 10 DAVENPORT
STREET, KARRINYUP, WA 6018. C/O TOM TIERNEY

SHEET

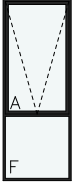
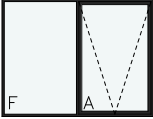
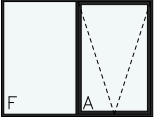
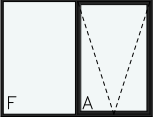
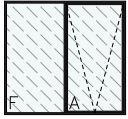
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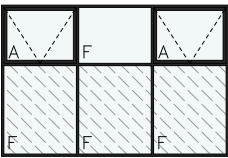
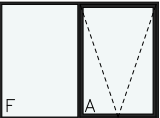
INITIAL DESIGNER
DR

DATE PRINTED
3/03/2026

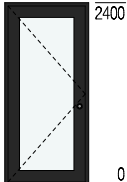
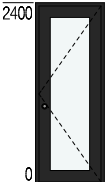
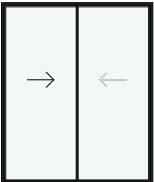
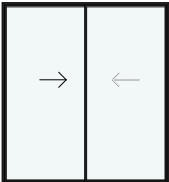
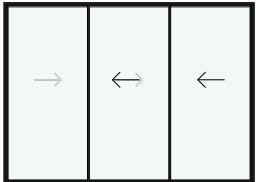
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DRAWING No.
19 of 22

WINDOW SCHEDULE					
ID	W-01	W-02	W-03	W-04	W-05
QUANTITY	2	1	1	1	1
RELATED ZONE NAME	SITTING	BED 2	BED 3	BED 4	BATH
HEIGHT	2,400	1,550	1,550	1,550	1,500
WIDTH	900	2,000	2,000	2,000	1,600
VIEW FROM EXTERNAL SIDE					
OPENING TYPE	AWNING	AWNING	AWNING	AWNING	AWNING
GLAZING	DOUBLE GLAZED ; CLEAR	DOUBLE GLAZED ; CLEAR	DOUBLE GLAZED ; CLEAR	DOUBLE GLAZED ; CLEAR	DOUBLE GLAZED ; OBSCURED
FRAME	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM

WINDOW SCHEDULE					
ID	W-06	W-08	W-09	W-10	W-11
QUANTITY	1	1	1	1	1
RELATED ZONE NAME		DINING	KITCHEN	MASTER SUITE	ENS
HEIGHT	790	2,000	800	1,550	1,400
WIDTH	900	3,000	3,000	2,100	600
VIEW FROM EXTERNAL SIDE					
OPENING TYPE	FIXED	AWNING	FIXED	AWNING	AWNING
GLAZING	DOUBLE GLAZED ; CLEAR	DOUBLE GLAZED ; CLEAR	DOUBLE GLAZED ; OBSCURED	DOUBLE GLAZED ; CLEAR	DOUBLE GLAZED ; CLEAR
FRAME	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM

WINDOW SCHEDULE			
ID	W-12	W-13	W-14
QUANTITY	1	1	1
RELATED ZONE NAME	PDR		LIVING
HEIGHT	1,400	2,400	2,000
WIDTH	600	900	1,200
VIEW FROM EXTERNAL SIDE			
OPENING TYPE	AWNING	FIXED	FIXED
GLAZING	DOUBLE GLAZED ; CLEAR	DOUBLE GLAZED ; CLEAR	DOUBLE GLAZED ; CLEAR
FRAME	ALUMINUM	ALUMINUM	ALUMINUM

DOOR SCHEDULE					
ID	D-01	D-02	SD-01	SD-02	SD-03
QUANTITY	1	1	1	1	1
RELATED ZONE NAME	SITTING	L'DRY	ACTIVITY	LIVING	LIVING
HEIGHT	2,400	2,400	2,400	2,400	2,400
WIDTH	1,110	910	2,000	2,210	3,310
VIEW FROM EXTERNAL SIDE					
OPENING TYPE	HINGED	HINGED	SLIDING	SLIDING	SLIDING
GLAZING	DOUBLE GLAZED ; CLEAR	DOUBLE GLAZED ; CLEAR	DOUBLE GLAZED ; CLEAR	DOUBLE GLAZED ; CLEAR	DOUBLE GLAZED ; CLEAR
FRAME	ALUMINUM - STANDARD	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM

Ch-04



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REV.	ITEMS	DRN	PM	DATE
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B13	BP SET - CLIENT AMENDMENTS	DR	DR	06/02/2026
B14	BP SET - CLIENT AMENDMENTS	DR	DR	25/02/2026
B15	BP SET - CLIENT AMENDMENTS	DR	DR	03/03/2026

TYPE B LOT - HASTING'S VILLA

PROJECT

1 CASUARINA CRESCENT
JURIEN BAY
SHIRE OF DANDARAGAN

CLIENT NAME

JURIEN BAY RESORT PTY LTD, 10 DAVENPORT
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SHEET

WINDOWS & DOORS SCHEDULE

INITIAL DESIGNER
DR

DATE PRINTED
3/03/2026

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CLIENT NAME	JURIEN BAY RESORT PTY LTD, 10 DAVENPORT STREET, KARRINYUP, WA 6018. C/O TOM TIERNEY

SHEET	3D PERSPECTIVES
INITIAL DESIGNER DR	DATE PRINTED 3/03/2026
PAPER PRINTED @A3	DRAWING No. 21 of 22

