

Transmittal History				
Issue	Drawing ID	Name	Revision	Changes
01, Transmittal Set, 15/10/2025 8:43 AM	1	3D ELEVATION	01	
	2	COMPLIANCE NOTES	01	
	3	SITE PLAN	01	
	4	GF SLAB LAYOUT	01	
	5	UF SLAB LAYOUT	01	
	6	GF FLOOR PLAN	01	
	7	UF FLOOR PLAN	01	
	8	ROOF PLAN	01	
	9	ELEVATIONS	01	
	10	ELECTRICAL	01	
	11	SECTION	01	
	12	DETAILS	01	
	13	INTERNAL LAYOUTS	01	
	14	WINDOW & DOOR SCHEDULE	01	
	15	3D PERSPECTIVES	01	
02, Transmittal Set, 5/11/2025 11:25 AM	13	STAIR LAYOUT	02	Ch-01
03, Transmittal Set, 14/11/2025 11:47 AM	4	GF SLAB LAYOUT	03	Ch-02
	6	GF FLOOR PLAN	03	Ch-02
	10	ELECTRICAL	03	Ch-02
	14	INTERNAL LAYOUTS	03	Ch-02
04, Transmittal Set, 20/11/2025 9:44 AM	6	GF FLOOR PLAN	04	Ch-03
	7	UF FLOOR PLAN	04	Ch-03
	13	STAIR LAYOUT	04	Ch-03
05, Transmittal Set, 9/02/2026 11:23 AM	6	GF FLOOR PLAN	05	Ch-04
	7	UF FLOOR PLAN	05	Ch-04
	10	ELECTRICAL	04	Ch-04
	13	STAIR LAYOUT	05	Ch-04
	15	WINDOW & DOOR SCHEDULE	02	Ch-04
06, Transmittal Set, 3/03/2026 10:59 AM	3	SITE PLAN	02	Ch-05
	6	GF FLOOR PLAN	06	Ch-05
	9	ELEVATIONS	02	Ch-05
	10	ELECTRICAL	05	Ch-05





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SHEET

3D ELEVATION

PROJECT
1 CASUARINA CRESCENT, JURIE BAY

REV C16	INITIAL DESIGNER YA	DATE PRINTED 3/03/2026
PAPER PRINTED @A3		DRAWING No. 1 of 16

THIS SPECIFICATION IS TO BE READ IN CONJUNCTION WITH THE CERTIFICATE OF DESIGN COMPLIANCE, FINAL ARCHITECTURAL DRAWINGS, BUILDER'S SPECIFICATIONS, AND ANY TECHNICAL CERTIFICATES (ENERGY EFFICIENCY DOCUMENTATION, STRUCTURAL ENGINEERS' DRAWINGS).

1. **BUILDING CHARACTERISTICS**

- **BUILDING DESCRIPTION: RESIDENTIAL DWELLING**
- **BUILDING CLASSIFICATION: CLASS 1a, 10a, 10b**

ANY WORKS THAT MAY ADVERSELY AFFECT LAND ON ADJOINING PROPERTY, OR THAT ENCOACH BEYOND THE BOUNDARIES OF THE WORKS LAND, MUST NOT BE UNDERTAKEN WITHOUT THE RELEVANT NECESSARY CONSENTS BEING OBTAINED, AS REQUIRED BY PART 6 DIVISION 2 OF THE BUILDING ACT 2011. IN ACCORDANCE WITH PART 6 DIVISION 3 OF THE BUILDING ACT 2011, NOTABLE EVENTS THAT REQUIRE SUCH CONSENTS ARE IDENTIFIED AS -

- A. PART OF A BUILDING OR STRUCTURE IS PLACED INTO, ONTO OR OVER LAND BEYOND THE BOUNDARIES OF THE WORKS LAND;
- B. LAND BEYOND THE BOUNDARIES OF THE WORKS LAND IS ADVERSELY AFFECTED;
- C. A PROTECTION STRUCTURE IS PLACED INTO OR ONTO LAND BEYOND THE BOUNDARIES OF THE WORKS LAND;
- D. THE STRUCTURAL, WATERPROOFING, OR NOISE INSULATION CAPACITY OF A PARTY WALL OR A SUBSTANTIAL DIVIDING FENCE SHARED WITH THE WORKS LAND, OR A BOUNDARY RETAINING WALL THAT PROTECTS LAND BEYOND THE BOUNDARIES OF THE WORKS LAND, IS AFFECTED;
- E. A FENCE, GATE OR OTHER BARRIER TO LAND ON OR BEYOND THE BOUNDARIES OF THE WORKS LAND IS REMOVED;
- F. IN DOING THE WORK A PERSON GOES ONTO OTHER LAND.

- A. REDUCE THE STABILITY OR BEARING CAPACITY OF THE LAND OR A BUILDING OR STRUCTURE ON THE LAND; OR
- B. DAMAGE, OR REDUCE THE STRUCTURAL ADEQUACY OF, A BUILDING OR STRUCTURE ON THE LAND; OR
- C. THE CHANGING OF THE NATURAL SITE DRAINAGE IN A WAY THAT REDUCES THE EFFECTIVENESS OF THE DRAINAGE OF THE LAND OR EXISTING OR FUTURE BUILDINGS OR STRUCTURES ON THE LAND.

1. A NOTICE AND REQUEST FOR CONSENT TO WORK AFFECTING OTHER LAND (BA20A FORM) IS TO BE OBTAINED PRIOR TO COMMENCEMENT OF CONSTRUCTION WHERE:
 - THERE IS A NEED TO REMOVE A DIVIDING FENCE (S 80 OF THE BUILDING ACT 2011).
 - ACCESS THE ADJOINING LAND IS REQUIRED (S 81 OF THE BUILDING ACT 2011).
 - WORK AFFECTS A PARTY WALL, SUBSTANTIAL DIVIDING FENCE OR A BOUNDARY RETAINING WALL (S79 OF THE BUILDING ACT 2011).
2. ALL MATERIALS AND WORKMANSHIP TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS, APPLICABLE CONSTRUCTION MANUALS AND NCC PART.
3. ANY WORKS SHOWN AS "FUTURE" OR "PART OF NEXT STAGE" OR MARKED AS SUCH ON THE APPROVED PLANS ARE NOT INCLUDED IN THIS APPROVAL. THESE WORKS MAY REQUIRE SEPARATE CERTIFICATE OF DESIGN COMPLIANCE APPROVAL.
4. CONCRETE TO COMPLY WITH AS 3600.
5. ALL STORMWATER MUST BE CONTAINED ON-SITE AND BE DESIGNED & INSTALLED IN ACCORDANCE WITH AS 3500.3.
6. TIMBER FRAMING MUST ADHERE TO AS 1684 PART 1 OR PART 2, AS APPLICABLE TO THE WIND REGION (CYCLONIC OR NON-CYCLONIC).
7. METAL SHEET ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH AS 1562.1.
8. ALL GLAZING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH AS 2047 AND AS 1288, AS APPLICABLE.
9. MECHANICAL VENTILATION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH AS 1668. EXHAUST SYSTEMS WITHIN ANY KITCHEN, LAUNDRY, BATHROOM OR SANITARY COMPARTMENT MUST BE DESIGNED AND INSTALLED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS, PART 10.6.2.
10. HARD-WIRED, INTERCONNECTED SMOKE ALARMS MUST BE INSTALLED IN ACCORDANCE WITH ABCB HOUSING PROVISION, PART 9.5 AND AS 3786. SMOKE ALARMS ARE TO BE INSTALLED BETWEEN THE KITCHEN AND SLEEPING AREAS FOR GROUND FLOOR DWELLINGS AND MUST BE INSTALLED BETWEEN THE KITCHEN AND SLEEPING AREAS AND THE TOP & BOTTOM OF ANY INTERNAL CONNECTING STAIRWAYS IN DWELLING MORE THAN SINGLE STOREY.

1. PROTECTIVE COATINGS FOR STEELWORK MUST COMPLY WITH ABCB HOUSING PROVISIONS, PART 6.3.9.
12. WATERPROOFING OF WET AREAS MUST COMPLY WITH ABCB HOUSING PROVISIONS, PART 10.2.
13. WEATHERPROOFING OF MASONRY MUST COMPLY WITH ABCB HOUSING PROVISIONS, PART 5.7.
14. VAPOR BARRIERS AND DAMP-PROOF MEMBRANES MUST COMPLY WITH ABCB HOUSING PROVISIONS, PART 4.2.8.
15. PHYSICAL TERMITE BARRIERS MUST SATISFY THE INSTALLATION REQUIREMENTS OF AS 3660.1 AND BE INSTALLED ALONG THE EXTERNAL BOUNDARY WALLS.

IF SPRAY TERMITE BARRIER IS TO BE USED, REFER TO APPROVED NCC PERFORMANCE SOLUTION.
16. A DURABLE NOTICE, FOR THE REGISTRATION OF PESTICIDES (TERMITE TREATMENT) MUST BE FIXED TO THE BUILDING IN A PROMINENT AND ACCESSIBLE LOCATION - PREFERABLY THE EXTERNAL ELECTRICAL DISTRIBUTION/METER BOX.
17. THE CONCRETE SLAB SHALL BE CONSTRUCTED IN ACCORDANCE WITH AS 2870, WITH TERMITE COLLARS ON ANY PIPE PENETRATIONS THROUGH THE SLAB.
18. UPPER FLOOR BEDROOM WINDOWS, WHERE THE SILL IS LESS THAN 1.7M ABOVE THE FINISHED FLOOR LEVEL (OF THE EXTERNAL SURFACE) MUST BE PROTECTED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS, PART 11.3.7.
19. THICKNESS AND TYPE OF GLAZING SHALL BE SELECTED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS, PART 8.
20. DOWNPIPES WILL BE INSTALLED TO THAT THEY DO NOT SERVE MORE THAN 12M OF GUTTER EACH AND LOCATED AS CLOSE AS POSSIBLE TO VALLEYS. THE SIZE OF DOWNPIPES AND GUTTER SHALL ADHERE WITH ABCB HOUSING PROVISIONS, PART 7.4.5.
21. RESIDENTIAL CROSSOVERS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE LOCAL AUTHORITY'S GUIDELINES/POLICY.
22. CONSTRUCTION OF STAIRS SHALL ADHERE WITH ABCB HOUSING PROVISIONS, PART 11.2. PARTICULARS INCLUDE -
 - NOT MORE THAN 18 & NOT LESS THAN 2 RISERS IN EACH FLIGHT.
 - GOING IN RISER DIMENSIONS IN ACCORDANCE WITH TABLE 11.2.2a.
 - CONSTANT GOING & RISER DIMENSIONS.
 - NO OPENINGS GREATER THAN 125MM.
23. CARE IS TO BE TAKEN SO AS NOT TO UNDERMINE ANY EXISTING STRUCTURES ON THE ADJOINING PROPERTIES.
24. THE EXTERNAL FINISHED SURFACE SURROUNDING THE SLAB ON GROUND MUST BE DRAINED TO MOVE SURFACE WATER AWAY FROM THE BUILDING. TYPICALLY, THE FINISHED SURFACE MUST BE GRADED 50MM OVER THE FIRST 1M FROM THE BUILDING. ALTERNATIVELY, THE SLAB ON GROUND MUST BE FINISHED AT A HEIGHT OF NO LESS THAN 100MM ABOVE THE FINISHED GROUND LEVEL (INCREASED TO 150MM IN CLAY AREAS).

IF FLUSH THRESHOLD, REFER TO APPROVED NCC PERFORMANCE SOLUTION.
25. DOORS TO ROOMS WITH A TOILET, WHERE THERE IS NOT 1.2M CLEARANCE BETWEEN THE DOOR AND THE TOILET, WILL BE PROVIDED WITH LIFT-OFF HINGES.
26. SELECTED TIMBER & COMPOSITE WALL/FAÇADE CLADDING MUST BE SELECTED AND INSTALLED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS, PART 7.5.
27. OPENINGS IN EXTERNAL WALL CLADDING MUST BE FLASHED WITH MATERIALS COMPLYING WITH ABCB HOUSING PROVISIONS, PART 7.5.6 AND AS/NZS 2904.
28. BUILDING ELEMENTS IN WET AREAS MUST BE WATERPROOF AND WATER RESISTANT IN ACCORDANCE WITH ABCB HOUSING PROVISIONS, PART 10.2.
29. FOR SINGLE SKIN FRAMED EXTERNAL WALLS, A PLIABLE BUILDING MEMBRANE MUST BE INSTALLED. THIS MEMBRANE MUST COMPLY WITH AS/NZS 4200.1, BE INSTALLED IN ACCORDANCE WITH AS 4200.2, AND BE LOCATED ON THE EXTERIOR SIDE OF THE INSULATION LAYER OF WALL ASSEMBLIES THAT FORM THE EXTERNAL BUILDING ENVELOPE.
30. WALL CLADDING SYSTEMS SHALL CONFORM WITH THE SELECTED MANUFACTURERS INSTALLATION GUIDE.

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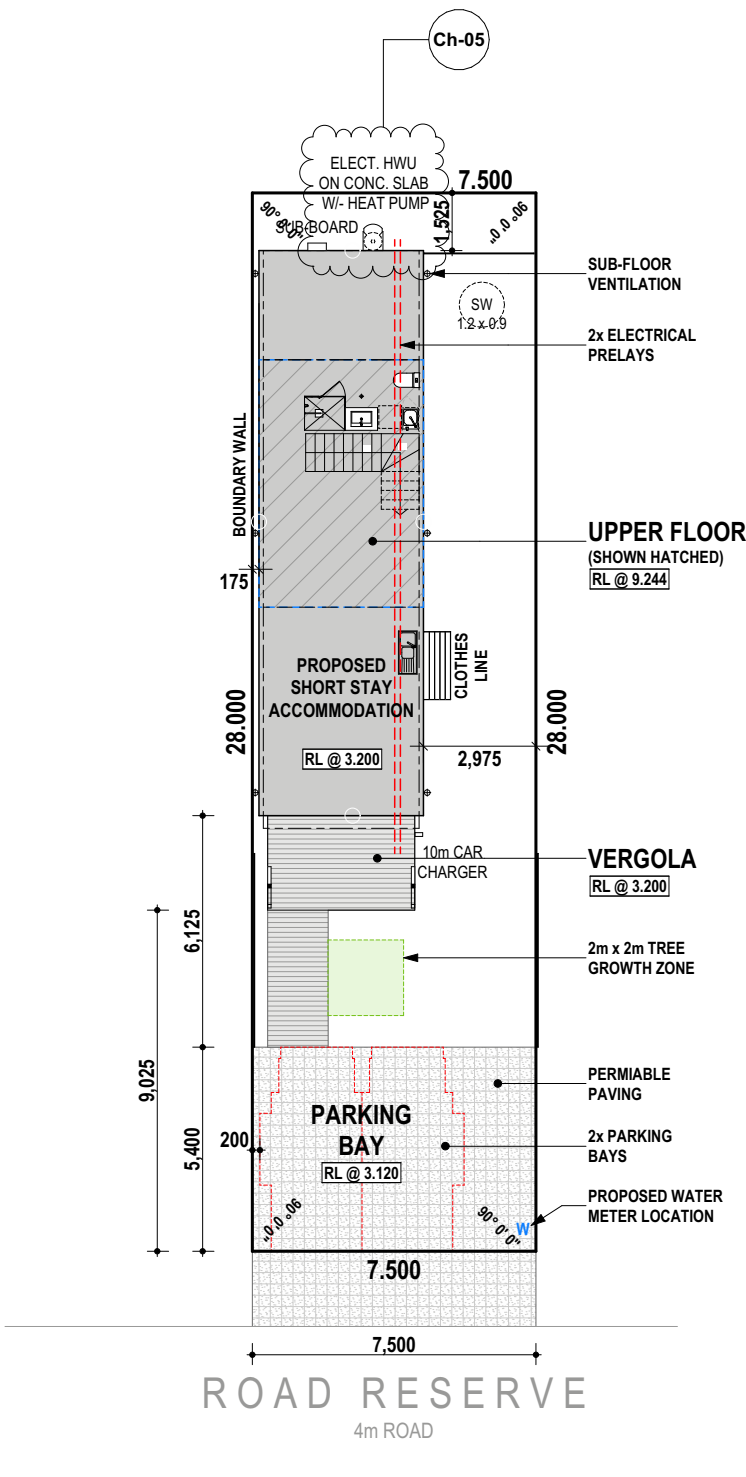
SITE COVERAGE

ZONED	R40
% ALLOWED	55%
SITE AREA	210.00m ²
SITE COVER	65.03m ²

SITE COV. =31.0%

Soak Well Type	No.	
SW 1200x900	1	1.0 m3
Total Capacity		1.0 m3
Roof Area GF		12.0 m2
Roof Area UF		51.0 m2
Total Area		63.0 m2
Capacity Required (Area x 0.0125)		0.8 m3
Extra Capacity Provided		0.2 m3

COASTAL AREA



SITE PLAN
1:200



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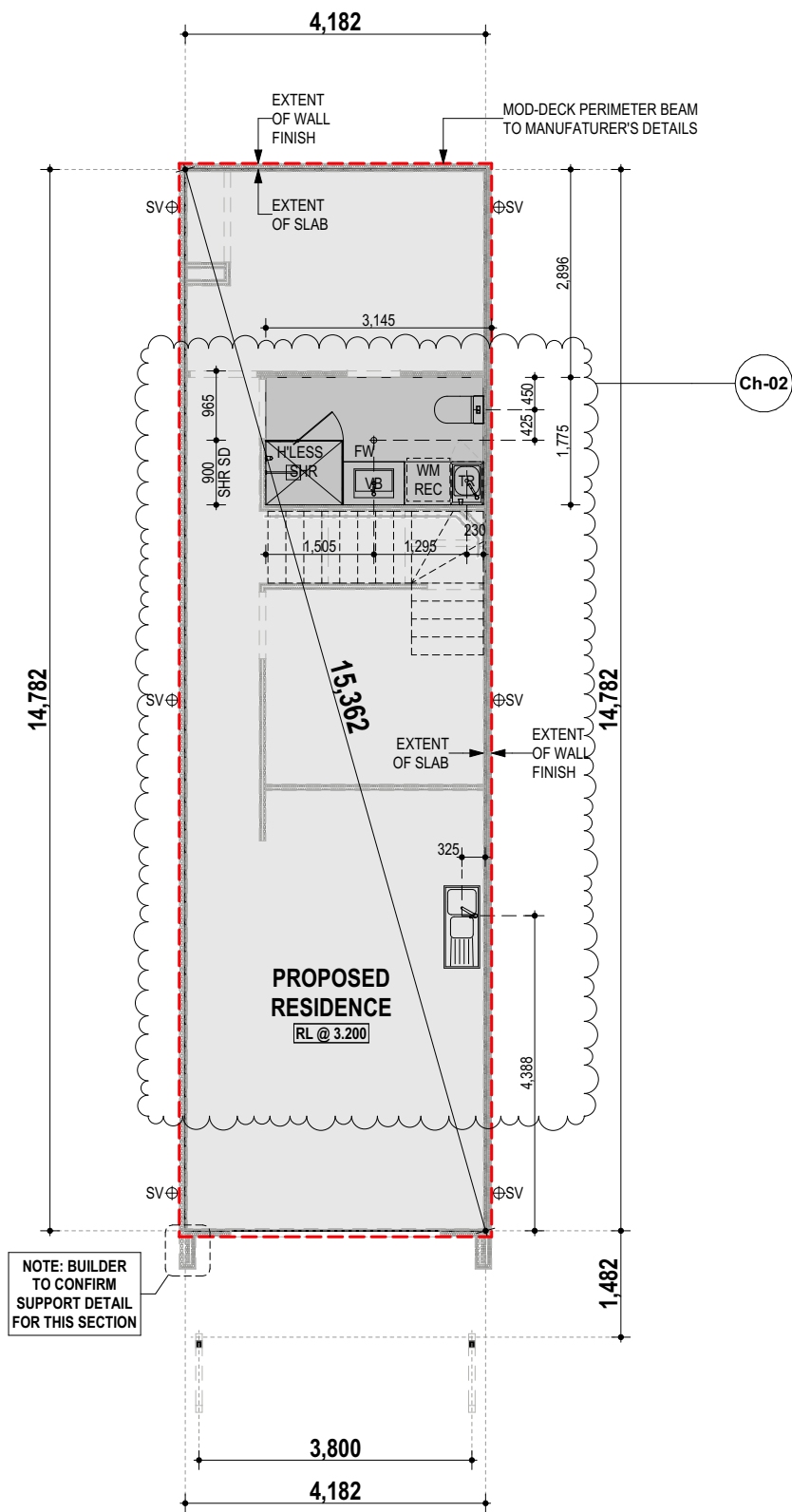
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SHORT STAY 3 BED VILLA

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CLIENT NAME	JURIEN BAY RESORT PTY LTD, 10 DAVENPORT STREET, KARRINYUP, WA 6018. C/O TOM TIERNEY

SHEET	SITE PLAN
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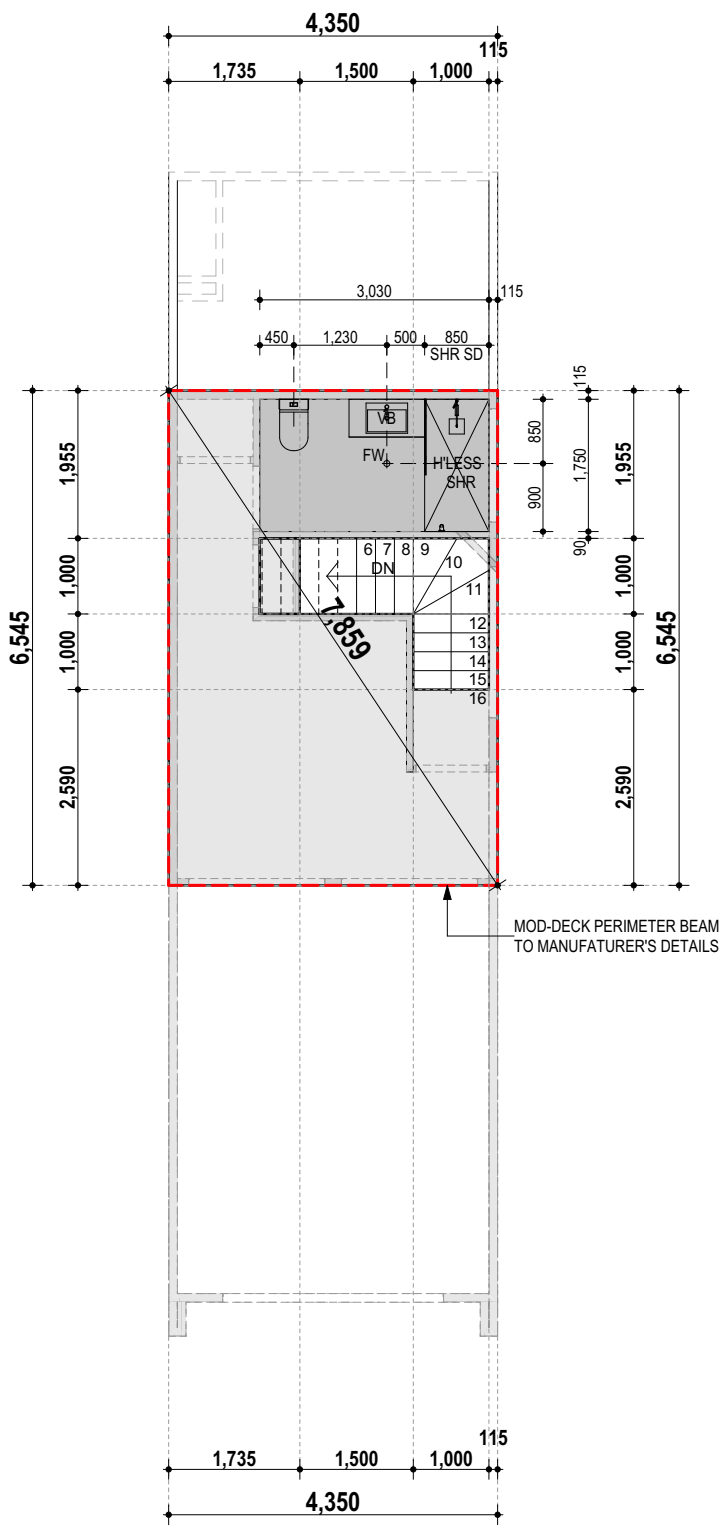
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TERMITE MANAGEMENT NOTE:

- TERMITE TREATMENT TO COMPLY WITH BCA 3.1.4 AND AS3660.1 INCLUDING BOUNDARY TREATMENT

GF SLAB SETOUT
1:100

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SHEET		UF SLAB LAYOUT
INITIAL DESIGNER	YA	DATE PRINTED 3/03/2026
PAPER PRINTED	@A3	DRAWING No. 5 of 16

AREAS:	
GF HOUSE AREA	65.03
UF HOUSE AREA	28.47
VERGOLA AREA	9.72
103.22 m²	

ROOF AREAS:	
GF HOUSE AREA	11.90
UF ROOF AREA	51.07

WALL LEGEND:	
	EXT. 115mm JBR
	SIGNATURE SIPS PANELS
	INT. 90mm JBR
	SIGNATURE SIPS PANELS

COASTAL AREA

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH SOIL REPORT, STRUCTURAL DRAWING, ENERGY REPORT, BAL REPORT, AND ACOUSTIC REPORT.

TERMITE MANAGEMENT NOTE:
• TERMITE TREATMENT TO COMPLY WITH BCA 3.1.4 AND AS3660.1 INCLUDING BOUNDARY TREATMENT

SETOUT AND SETBACK NOTES:
• DIMENSIONS ARE TO BE TAKEN FROM WALL FINISH TO BOUNDARY.

BUILDER NOTES:
• BOUNDARY LOCATION SHOWN IN THIS DRAWING IS INDICATIVE ONLY. LICENSED SURVEYOR TO LOCATE THE PEGS AT TRUE BOUNDARY.
• BUILDER TO CHECK ALL SETBACKS FROM THE TRUE B'DRY. IF ANY ISSUE, CONTACT THE OFFICE PRIOR TO CONSTRUCTION.

ENERGY ITEMS LIST:

ROOF:
TIMBER FRAMING
KLIP-LOK - UNVENTED
NO INSULATION REQUIRED

CEILINGS:
R6.0 BULK INSULATION TO FLAT CEILING
R5.0 TO RAKED CEILING

WALLS:
EXTERNAL
115w JBR SIPS PANELS

INTERNAL
90w JBR SIPS PANELS

FLOOR:
MOD-DECK SLAB

GLAZING:
DOUBLE GLAZED ALUMINUM

**ENERGY ASSESSOR IS TO CONTACT KDG IF ANY CHANGE*

CONSTRUCTION METHOD:

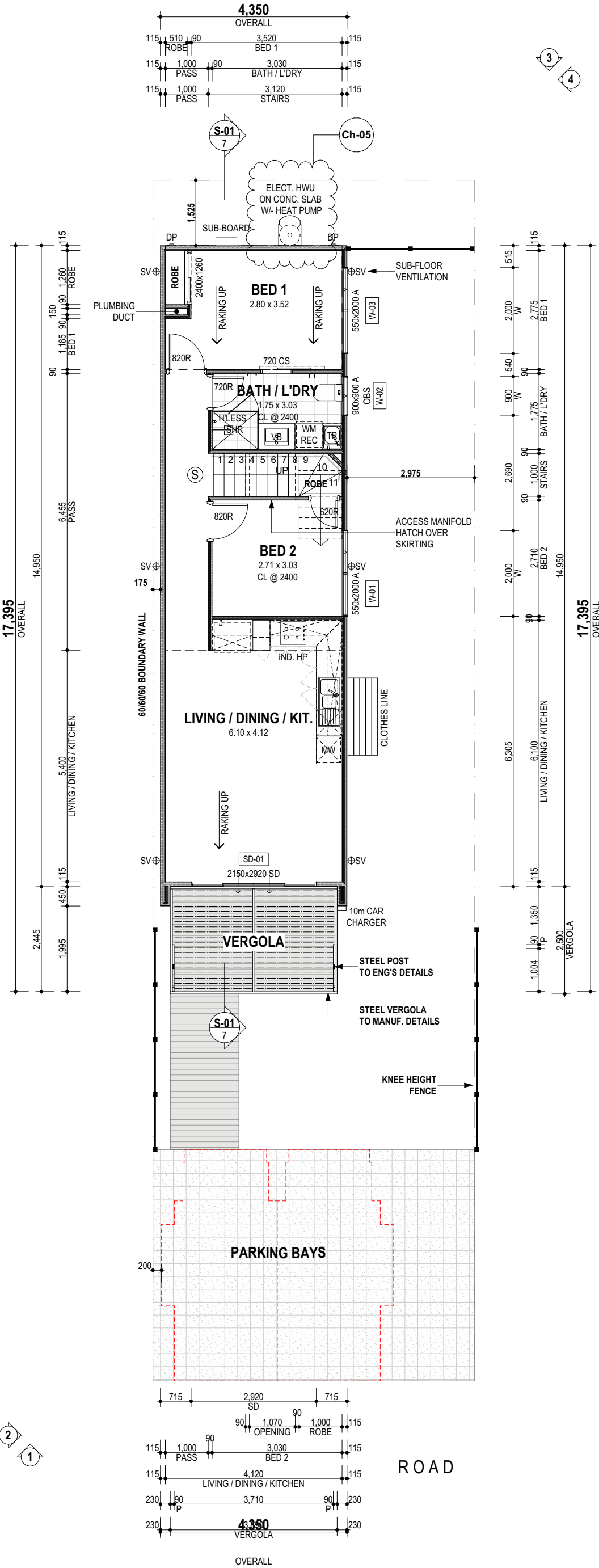
GROUND FLOOR - MOD-DECK SLAB

UPPER FLOOR - MOD-DECK SLAB

EXTERNAL WALL - 115w JBR SIPS PANELS
INTERNAL WALL - 90w JBR SIPS PANELS

ROOF FRAME - TIMBER
ROOF COVER - KLIP-LOK

DOORS & WINDOWS - DOUBLE GLAZED ALUM.



GROUND FLOOR
1:100

REV.	ITEMS	DRN	PM	DATE
C09	PRELIM BP SET	DR	DR	08/09/2025
C10	BP SET	PV	DR	24/09/2025
C11	BP SET DRR1	DR	DR	14/10/2025
C12	BP SET - STAIR PLAN	PV	DR	31/10/2025
C13	BP SET DRR2	MD	DR	14/11/2025
C14	BP SET DRR3	MD	DR	20/11/2025
C15	BP SET DRR4	DR	DR	09/02/2026
C16	BP SET DRR5	DR	DR	03/03/2026

SHORT STAY 3 BED VILLA

PROJECT	
1 CASUARINA CRESCENT JURIEN BAY SHIRE OF DANDARAGAN	
CLIENT NAME	
JURIEN BAY RESORT PTY LTD, 10 DAVENPORT STREET, KARRINYUP, WA 6018. C/O TOM TIERNEY	

SHEET	
GF FLOOR PLAN	
INITIAL DESIGNER	DATE PRINTED
YA	3/03/2026
PAPER PRINTED	DRAWING No.
@A3	6 of 16

AREAS:	
GF HOUSE AREA	65.03
UF HOUSE AREA	28.47
VERGOLA AREA	9.72
103.22 m²	

ROOF AREAS:	
GF HOUSE AREA	11.90
UF ROOF AREA	51.07

WALL LEGEND:

	EXT. 115mm JBR
	SIGNATURE
	SIPS PANELS
	INT. 90mm JBR
	SIGNATURE
	SIPS PANELS

COASTAL AREA

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH SOIL REPORT, STRUCTURAL DRAWING, ENERGY REPORT, BAL REPORT, AND ACOUSTIC REPORT.

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CEILINGS:
R6.0 BULK INSULATION TO FLAT CEILING
R5.0 TO RAKED CEILING

WALLS:
EXTERNAL
115w JBR SIPS PANELS

INTERNAL
90w JBR SIPS PANELS

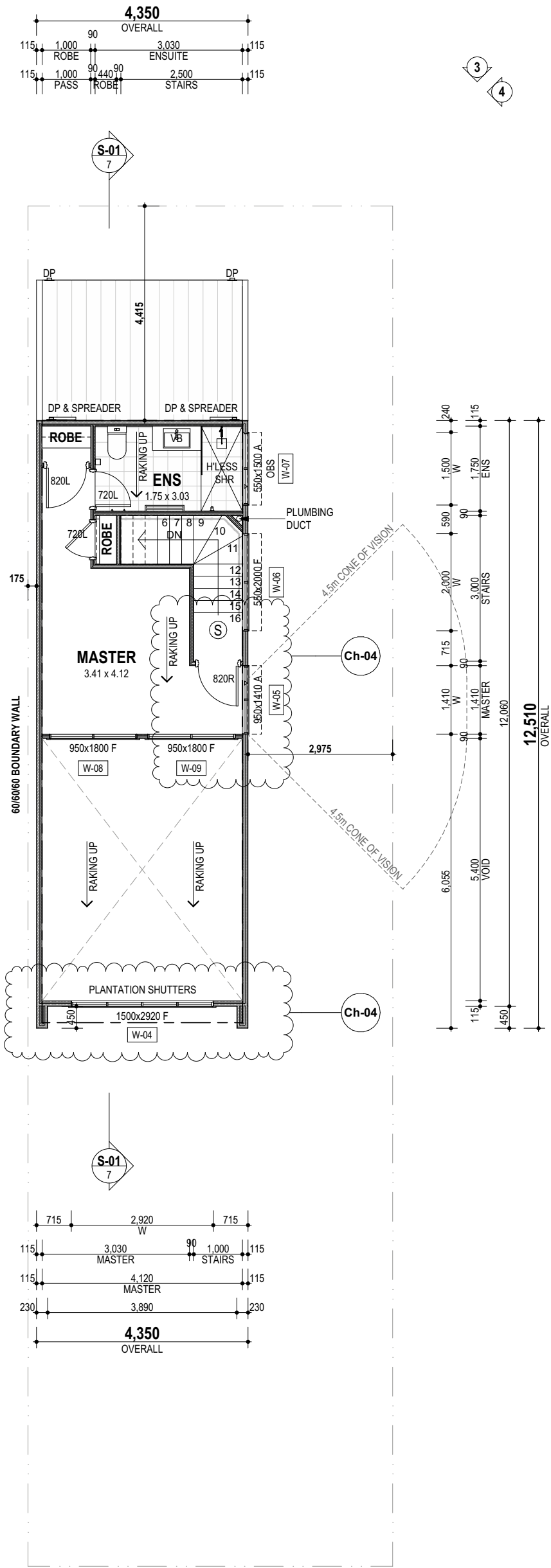
FLOOR:
MOD-DECK SLAB

GLAZING:
DOUBLE GLAZED ALUMINUM

*ENERGY ASSESSOR IS TO CONTACT KDG IF ANY CHANGE

CONSTRUCTION METHOD:

GROUND FLOOR	-	MOD-DECK SLAB
UPPER FLOOR	-	MOD-DECK SLAB
EXTERNAL WALL	-	115w JBR SIPS PANELS
INTERNAL WALL	-	90w JBR SIPS PANELS
ROOF FRAME	-	TIMBER
ROOF COVER	-	KLIP-LOK
DOORS & WINDOWS	-	DOUBLE GLAZED ALUM.



UPPER FLOOR

1:100

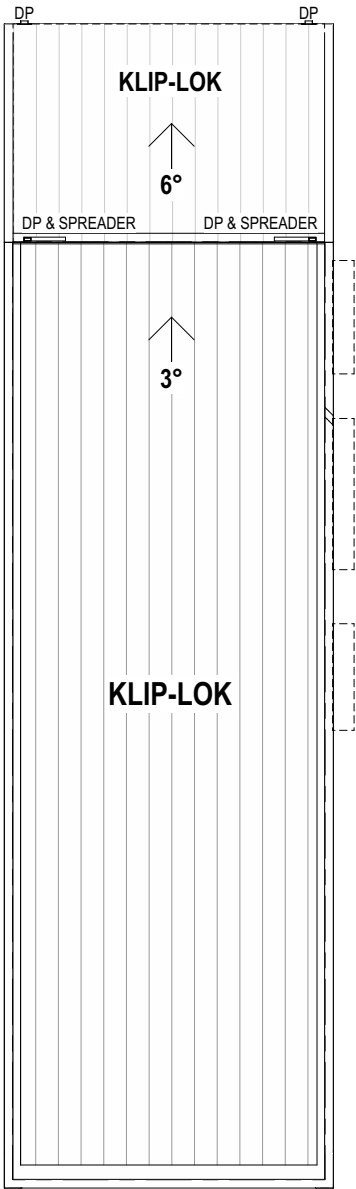
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C10	BP SET	PV	DR	24/09/2025
C11	BP SET DRR1	DR	DR	14/10/2025
C12	BP SET - STAIR PLAN	PV	DR	31/10/2025
C13	BP SET DRR2	MD	DR	14/11/2025
C14	BP SET DRR3	MD	DR	20/11/2025
C15	BP SET DRR4	DR	DR	09/02/2026
C16	BP SET DRR5	DR	DR	03/03/2026

SHORT STAY 3 BED VILLA

PROJECT	1 CASUARINA CRESCENT JURIEN BAY SHIRE OF DANDARAGAN
CLIENT NAME	JURIEN BAY RESORT PTY LTD, 10 DAVENPORT STREET, KARRINYUP, WA 6018. C/O TOM TIERNEY

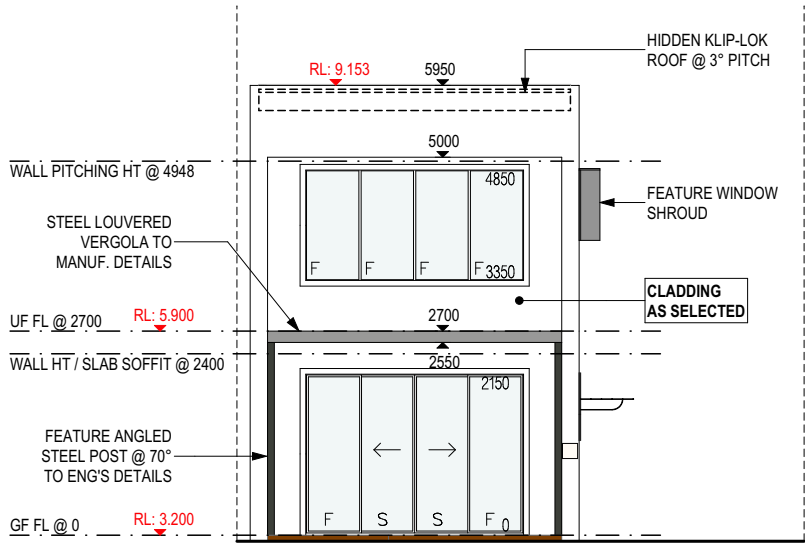
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INITIAL DESIGNER	YA	DATE PRINTED	3/03/2026
PAPER PRINTED	@A3	DRAWING No.	7 of 16

ROOF AREAS:	
GF HOUSE AREA	11.90
UF ROOF AREA	51.07

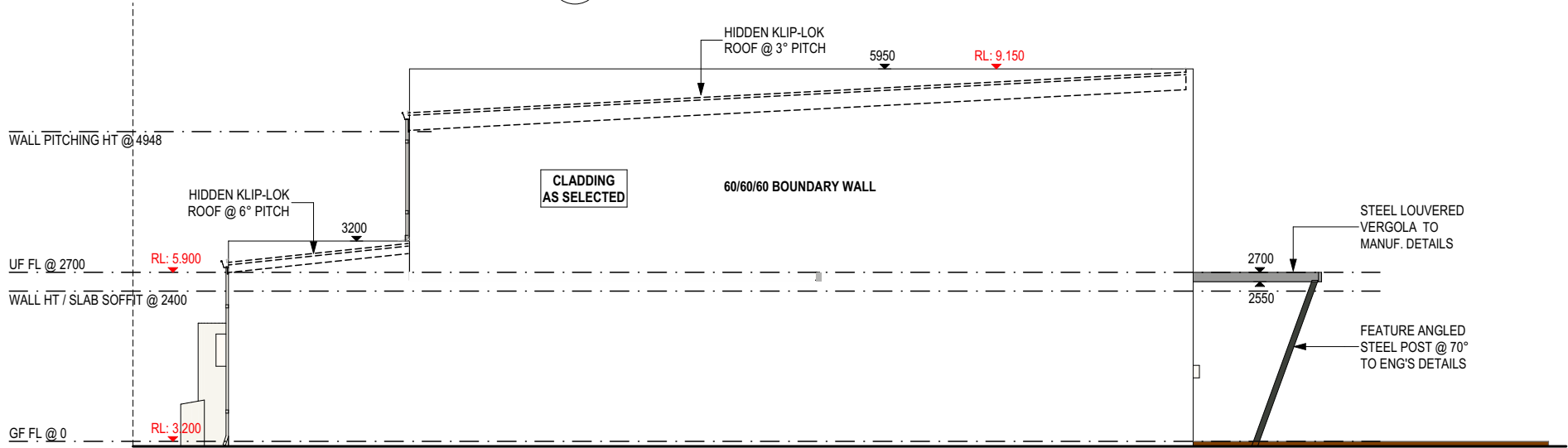


ROOF PLAN
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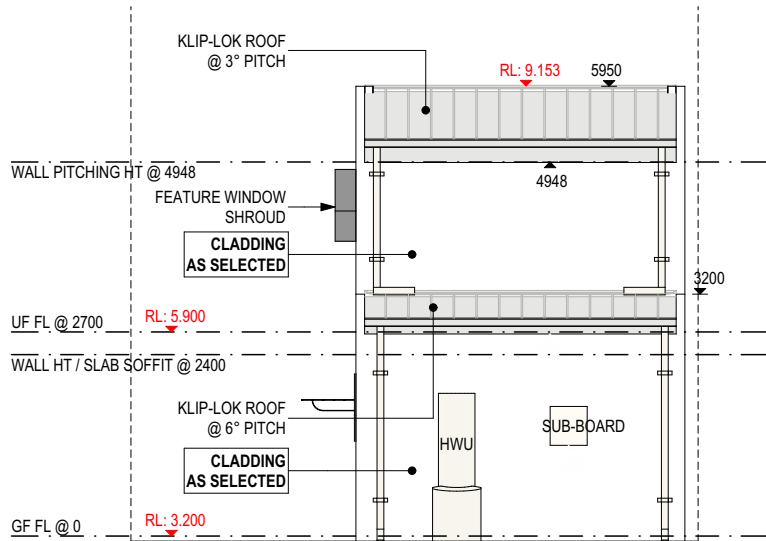
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	C09	PRELIM BP SET	DR	DR	08/09/2025	INITIAL DESIGNER YA		DATE PRINTED 3/03/2026	
	C10	BP SET	PV	DR	24/09/2025				
	C11	BP SET DRR1	DR	DR	14/10/2025	CLIENT NAME JURIEN BAY RESORT PTY LTD, 10 DAVENPORT STREET, KARRINYUP, WA 6018. C/O TOM TIERNEY	PAPER PRINTED @A3	DRAWING No. 8 of 16	
	C12	BP SET - STAIR PLAN	PV	DR	31/10/2025				
	C13	BP SET DRR2	MD	DR	14/11/2025				
	C14	BP SET DRR3	MD	DR	20/11/2025				
C15	BP SET DRR4	DR	DR	09/02/2026					
C16	BP SET DRR5	DR	DR	03/03/2026					
SHORT STAY 3 BED VILLA									



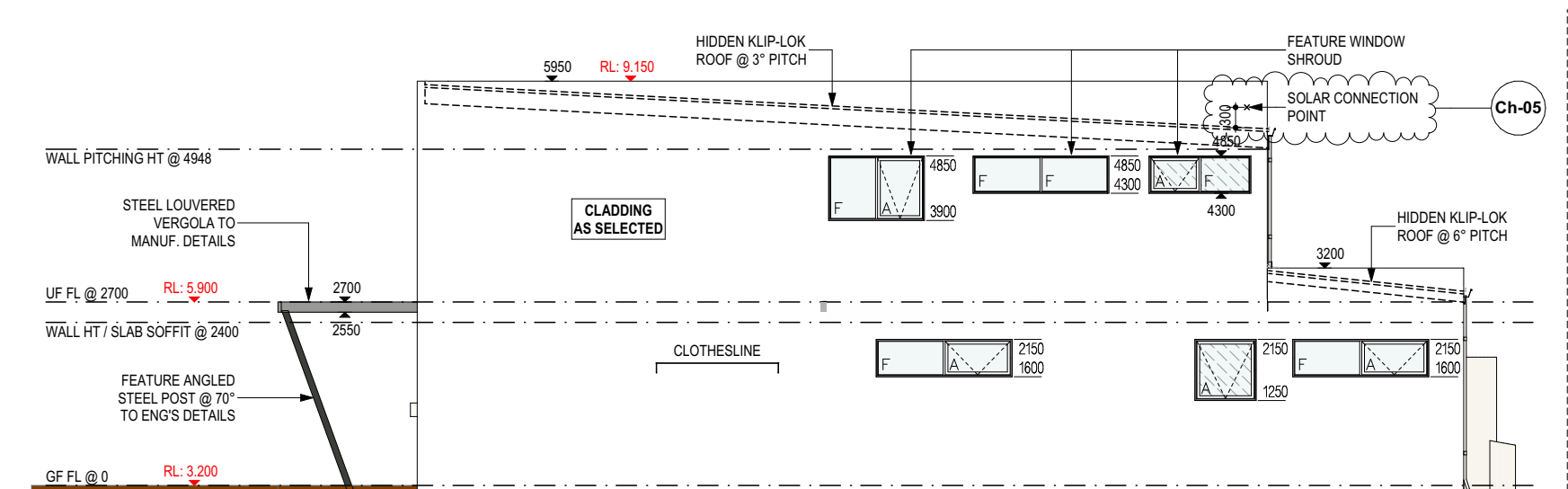
1 ELEVATION
1:100



2 ELEVATION
1:100



3 ELEVATION
1:100



4 ELEVATION
1:100

REV.	ITEMS	DRN	PM	DATE
C09	PRELIM BP SET	DR	DR	08/09/2025
C10	BP SET	PV	DR	24/09/2025
C11	BP SET DRR1	DR	DR	14/10/2025
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C15	BP SET DRR4	DR	DR	09/02/2026
C16	BP SET DRR5	DR	DR	03/03/2026

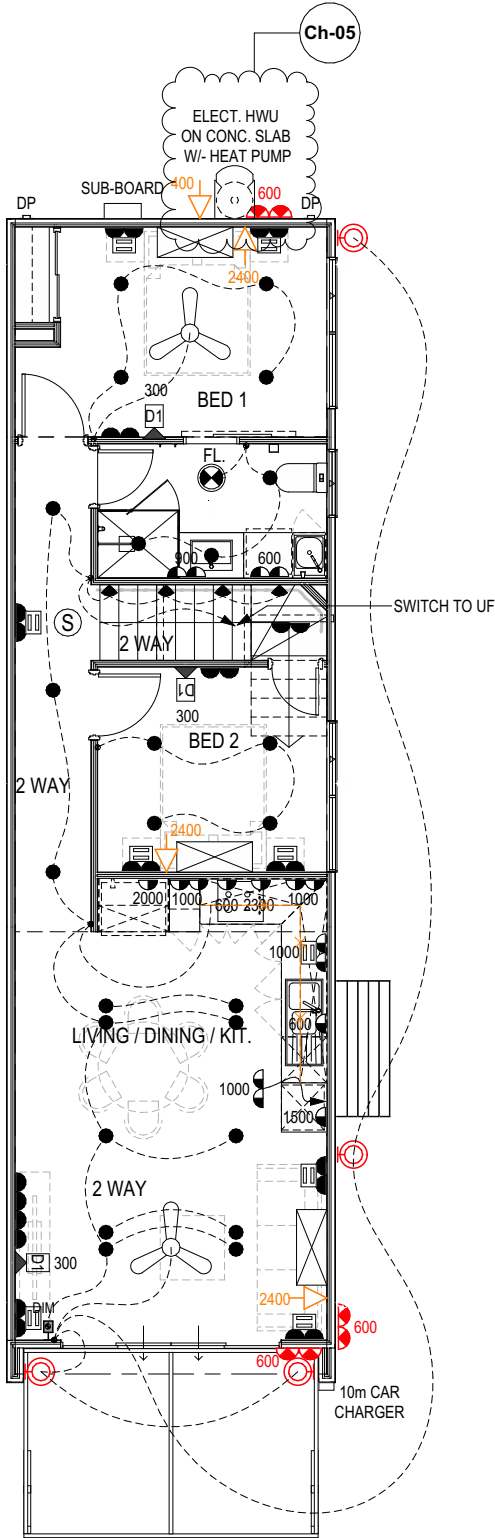
SHORT STAY 3 BED VILLA

PROJECT	CLIENT NAME
1 CASUARINA CRESCENT JURIEN BAY SHIRE OF DANDARAGAN	JURIEN BAY RESORT PTY LTD, 10 DAVENPORT STREET, KARRINYUP, WA 6018. C/O TOM TIERNEY

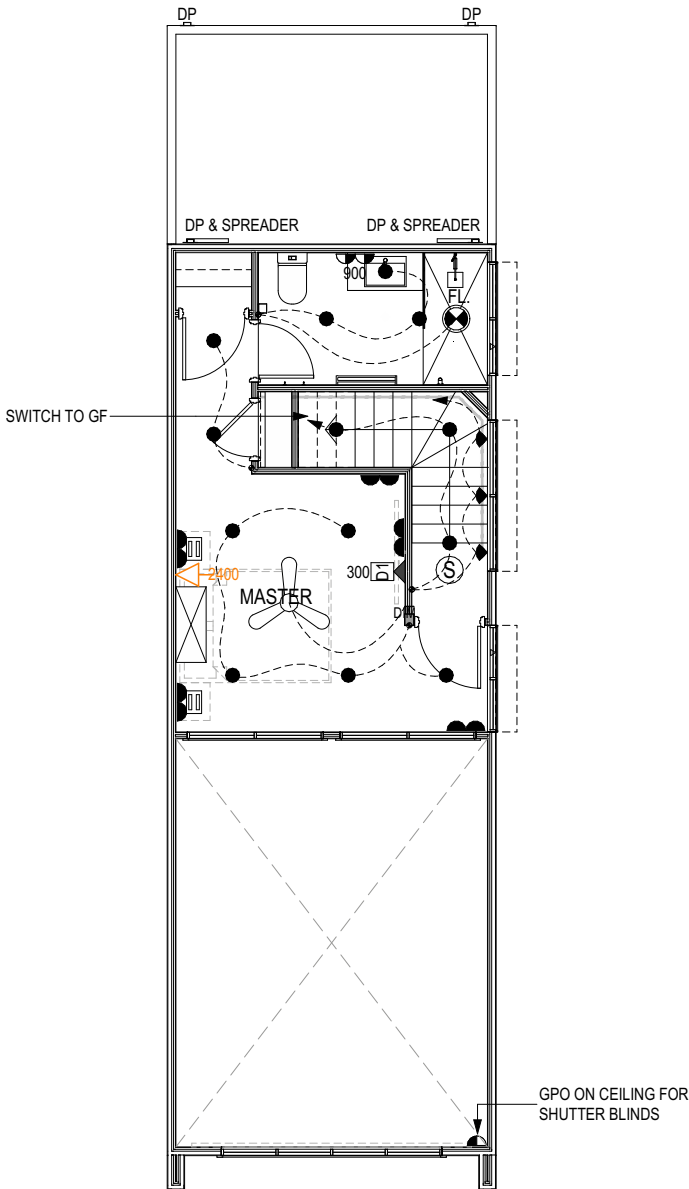
SHEET	ELEVATIONS
INITIAL DESIGNER YA	DATE PRINTED 3/03/2026
PAPER PRINTED @A3	DRAWING No. 9 of 16

ELECTRICAL LEGEND - GROUND FLOOR		
No.	SYMBOL	TYPE
2		1800mm CEILING FAN (1m DROP)
3	2 WAY	2 WAY CIRCUIT
1		4 GPOs @ 300 AFL
3		A/C SPLIT SYSTEM WALL UNIT
3		DATA POINT
1		DIMMER SWITCH DIM
3		DOUBLE GPO @ 300 AFL
8		DOUBLE GPO @ 300 AFL W/USB + USB-C
5		DOUBLE GPO @ NOTED HT
1		DOUBLE GPO @ NOTED HT W/USB + USB-C
3		DOUBLE WATER PROOF GPO
1		EXHAUST FAN FLUMED
4		EXTERNAL WALL LIGHT
1		H.WIRED SMOKE DETECTOR
4		ISOLATION SWITCH
2		LED LIGHT STRIP
24		RECESSED LED DOWN-LIGHT
5		SINGLE GPO @ NOTED HT
4		STAIR TREAD LIGHT - 150mm AFL

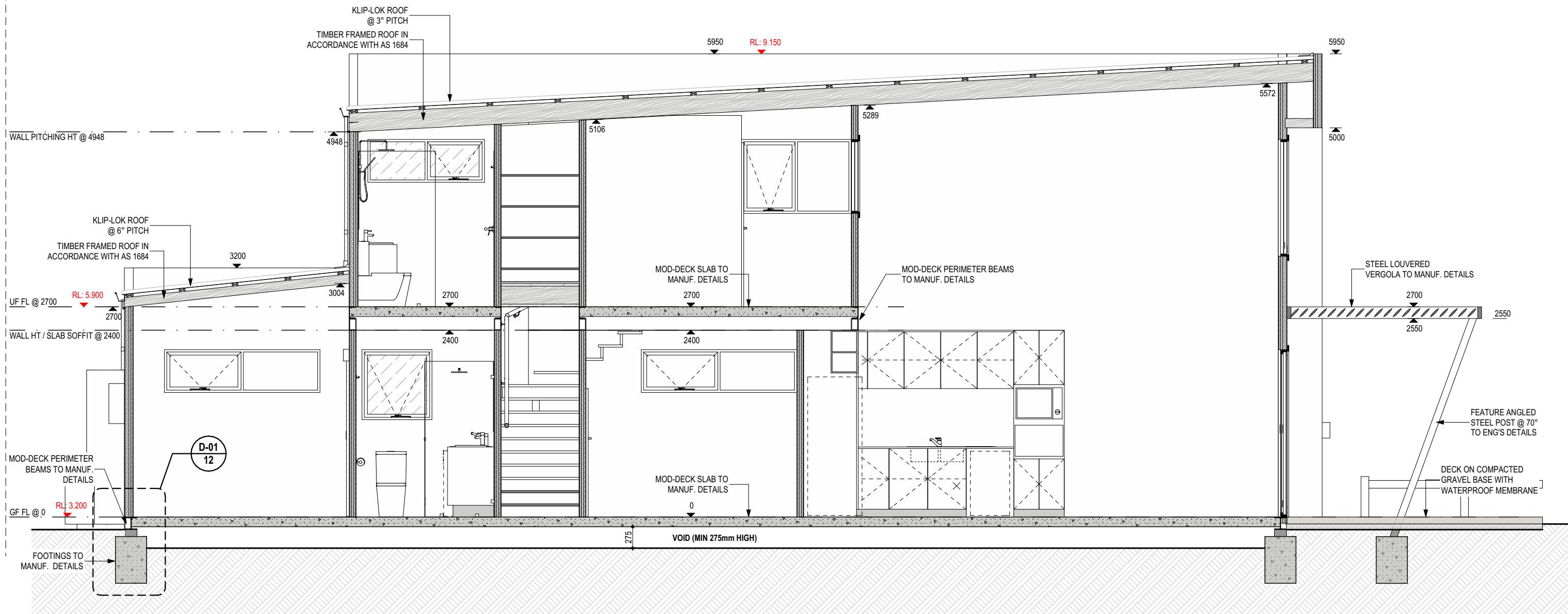
ELECTRICAL LEGEND - UPPER FLOOR		
No.	SYMBOL	TYPE
1		1800mm CEILING FAN (1m DROP)
1		A/C SPLIT SYSTEM WALL UNIT
1		DATA POINT
1		DIMMER SWITCH DIM
3		DOUBLE GPO @ 300 AFL
2		DOUBLE GPO @ 300 AFL W/USB + USB-C
1		DOUBLE GPO @ NOTED HT
1		EXHAUST FAN FLUMED
1		H.WIRED SMOKE DETECTOR
1		ISOLATION SWITCH
13		RECESSED LED DOWN-LIGHT
1		SINGLE GPO @ NOTED HT
3		STAIR TREAD LIGHT - 150mm AFL



GF ELECTRICAL
1:100



UF ELECTRICAL
1:100



S-01 SECTION
1:50



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REV.	ITEMS	DRN	PM	DATE
C09	PRELIM BP SET	DR	DR	08/09/2025
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C15	BP SET DRR4	DR	DR	09/02/2026
C16	BP SET DRR5	DR	DR	03/03/2026

SHORT STAY 3 BED VILLA

PROJECT

1 CASUARINA CRESCENT
JURIEN BAY
SHIRE OF DANDARAGAN

CLIENT NAME

JURIEN BAY RESORT PTY LTD, 10 DAVENPORT STREET,
KARRINYUP, WA 6018. C/O TOM TIERNEY

SHEET

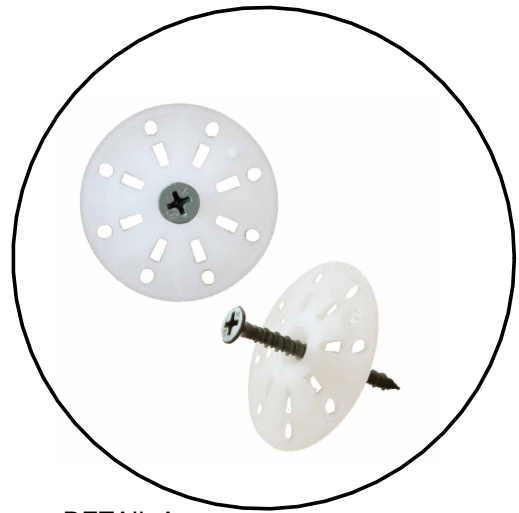
SECTION

INITIAL DESIGNER
YA

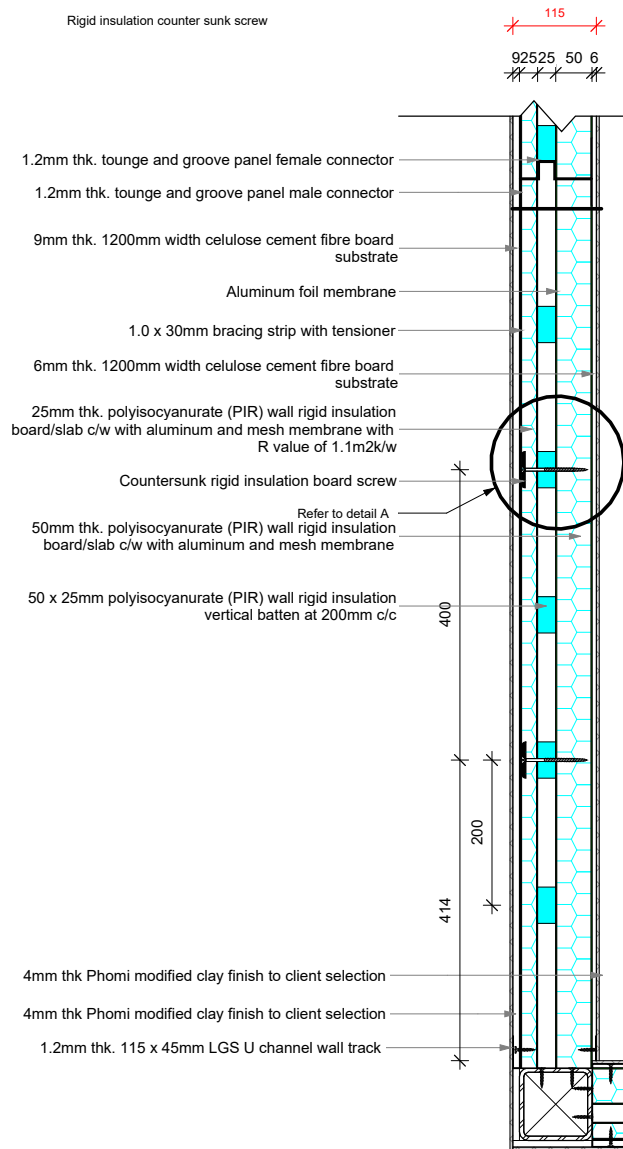
DATE PRINTED
3/03/2026

PAPER PRINTED
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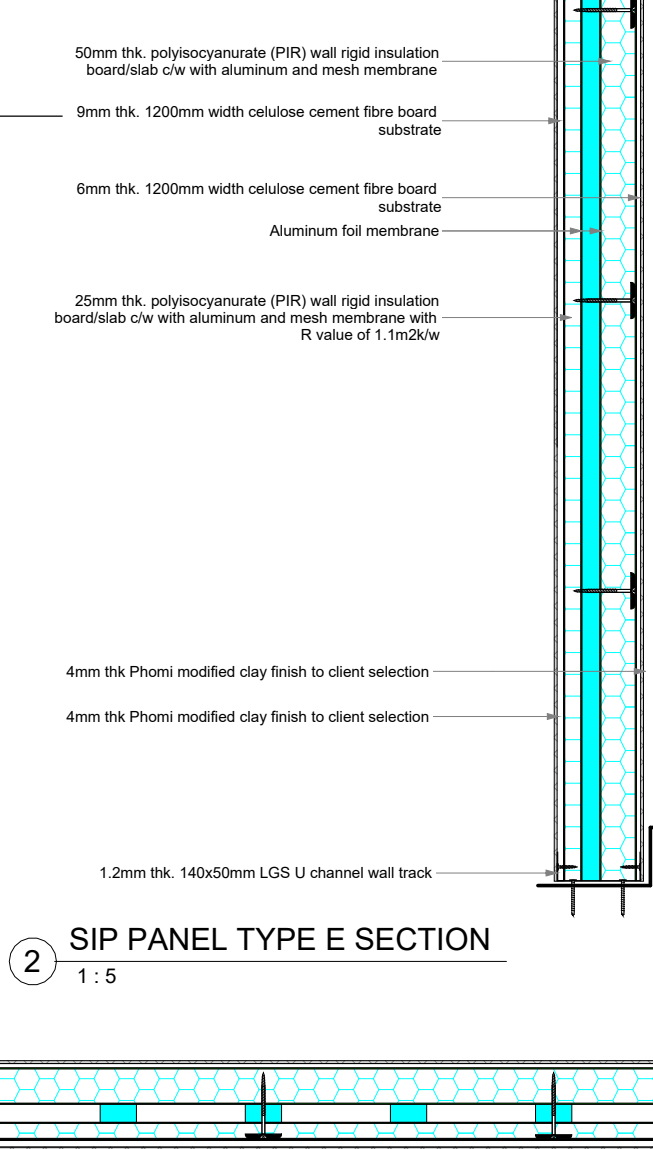
DRAWING No.
11 of 16



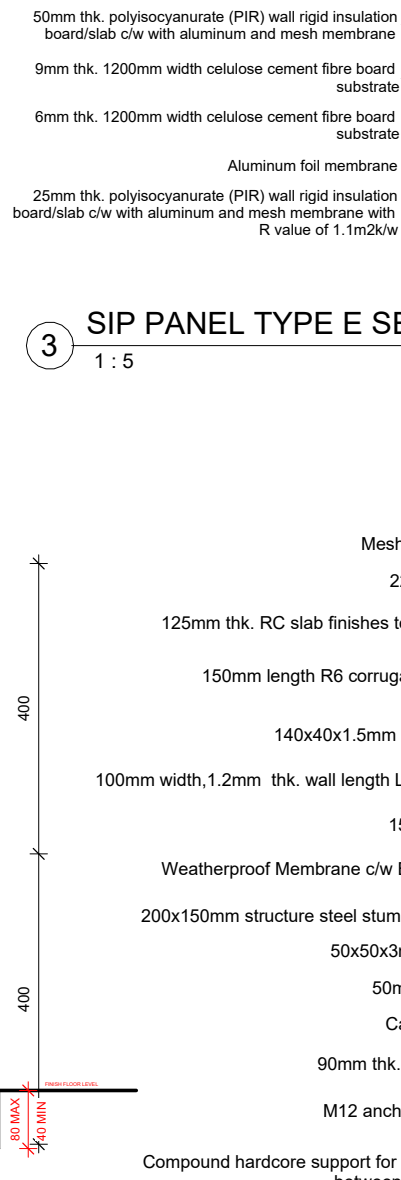
DETAIL A
Rigid insulation counter sunk screw



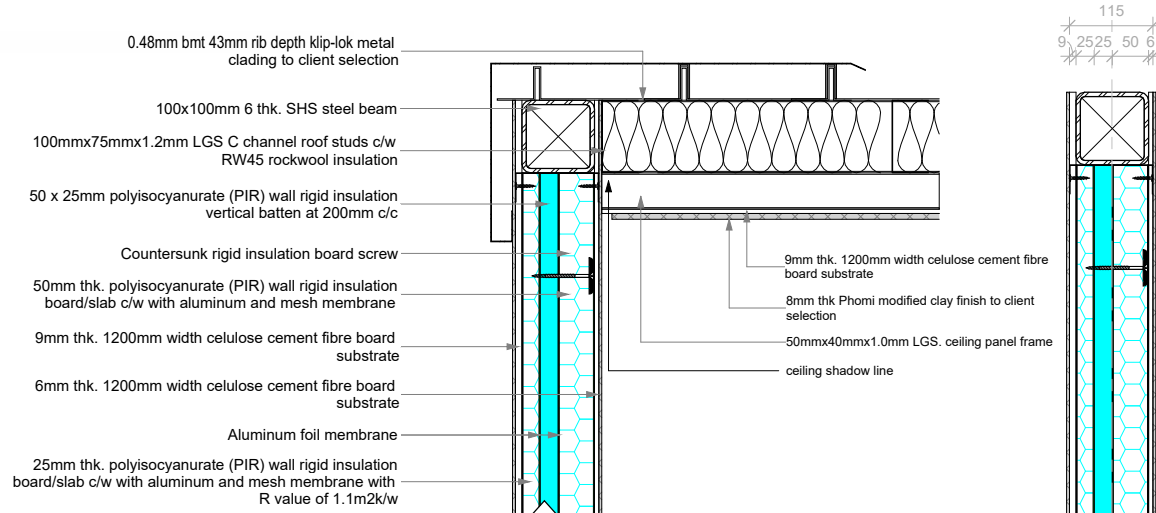
1 SIP PANEL TYPE E PLAN VIEW
1 : 5



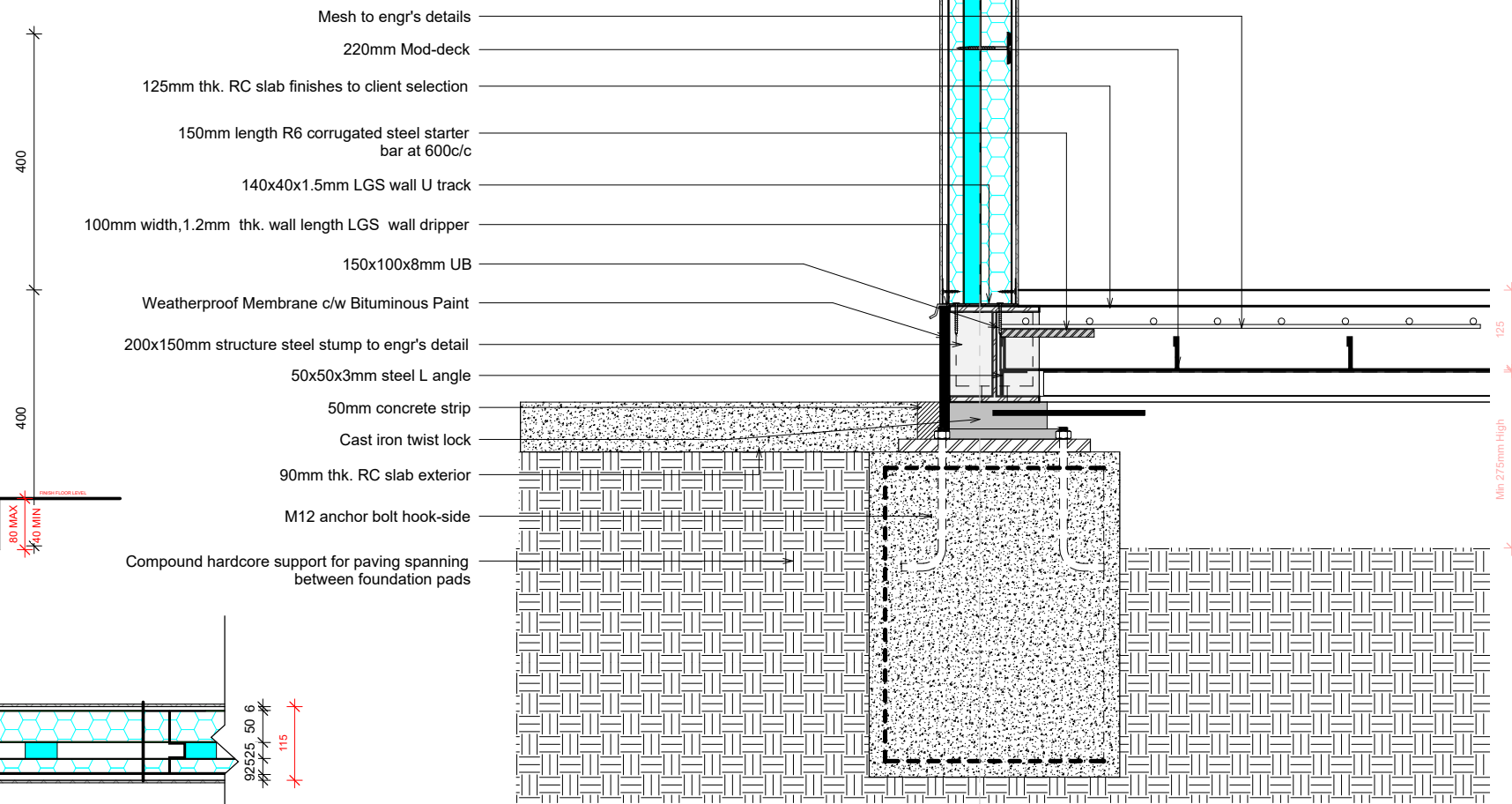
2 SIP PANEL TYPE E SECTION
1 : 5



4 SIP WALL PANEL APPLICATION
1 : 5

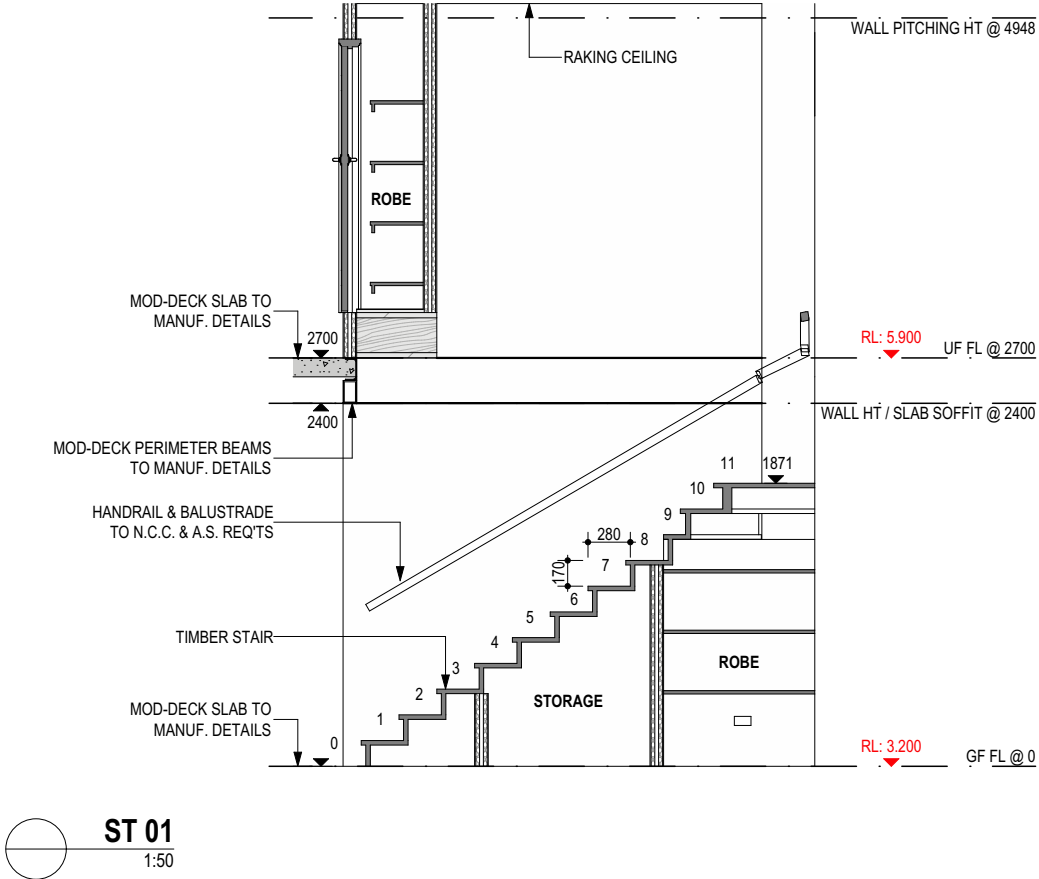
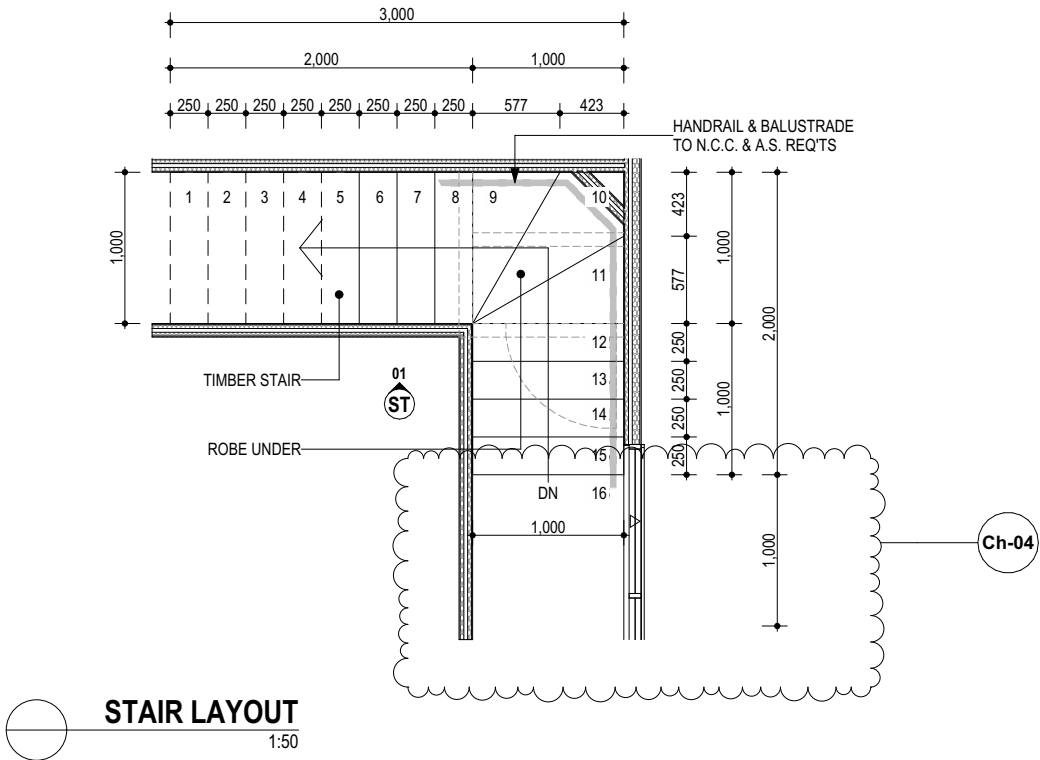


3 SIP PANEL TYPE E SECTION CEILING
1 : 5

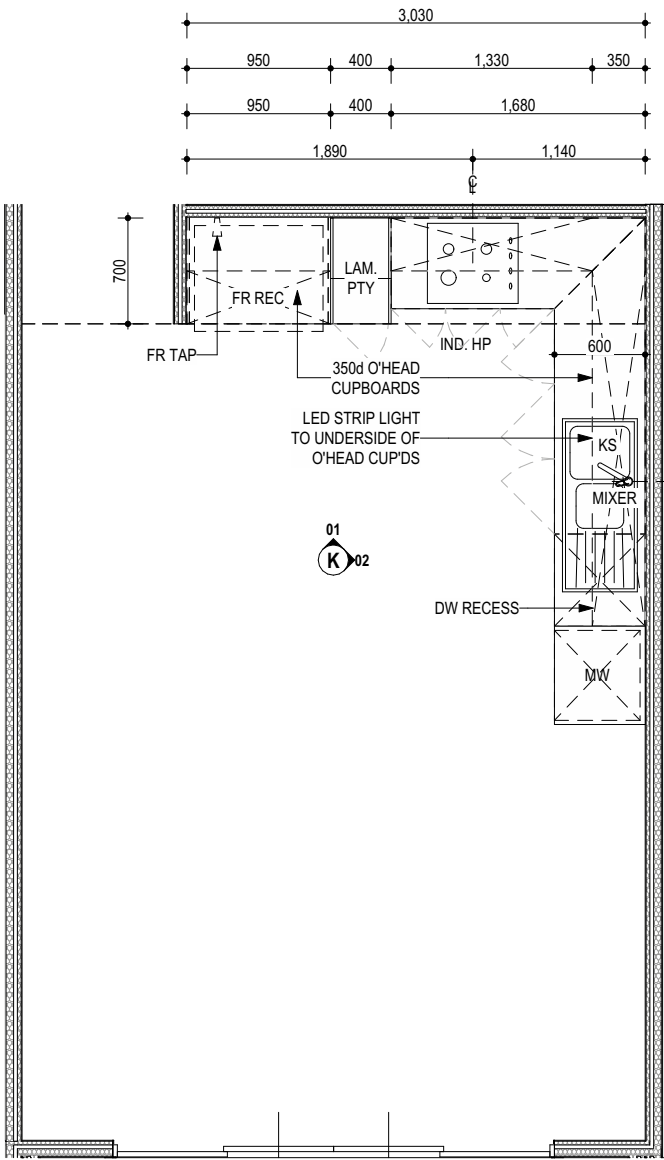


STAIRS NOTE:
CONSTRUCTION OF BALUSTRADES SHALL ADHERE
WITH ABCB HOUSING PROVISIONS PART 11.2
- NO OPENINGS GREATER THAN 125mm

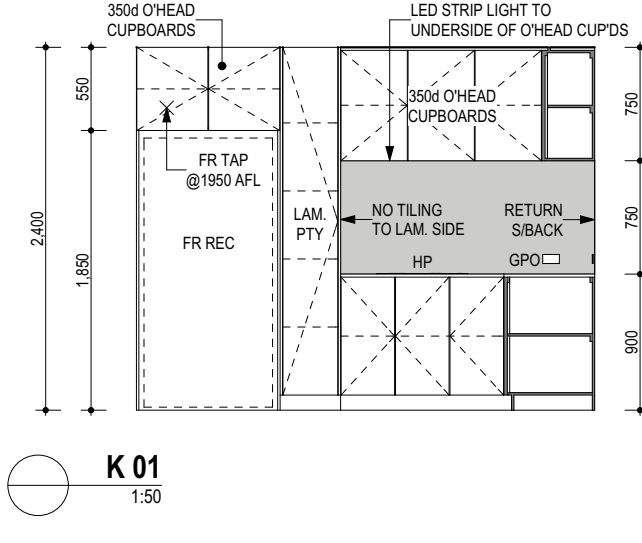
16 RISERS @ 170/RISER
15 TREADS @ 280/TREAD



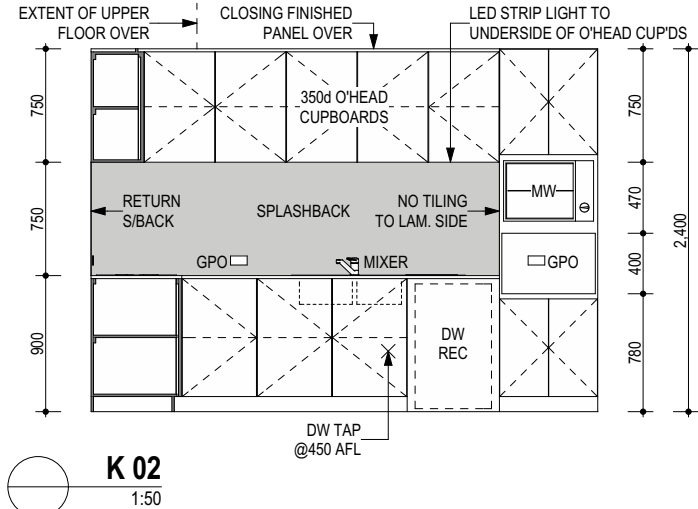
 Kellett Design Group Designs for a better tomorrow Tel: (08) 9446 8860 www.kellettdesigngroup.com.au © Copyright. Use figured dimensions in preference to scaled. All dimensions to be verified and checked prior to construction.	<table><tr><th>REV.</th><th>ITEMS</th><th>DRN</th><th>PM</th><th>DATE</th></tr><tr><td>C09</td><td>PRELIM BP SET</td><td>DR</td><td>DR</td><td>08/09/2025</td></tr><tr><td>C10</td><td>BP SET</td><td>PV</td><td>DR</td><td>24/09/2025</td></tr><tr><td>C11</td><td>BP SET DRR1</td><td>DR</td><td>DR</td><td>14/10/2025</td></tr><tr><td>C12</td><td>BP SET - STAIR PLAN</td><td>PV</td><td>DR</td><td>31/10/2025</td></tr><tr><td>C13</td><td>BP SET DRR2</td><td>MD</td><td>DR</td><td>14/11/2025</td></tr><tr><td>C14</td><td>BP SET DRR3</td><td>MD</td><td>DR</td><td>20/11/2025</td></tr><tr><td>C15</td><td>BP SET DRR4</td><td>DR</td><td>DR</td><td>09/02/2026</td></tr><tr><td>C16</td><td>BP SET DRR5</td><td>DR</td><td>DR</td><td>03/03/2026</td></tr></table>	REV.	ITEMS	DRN	PM	DATE	C09	PRELIM BP SET	DR	DR	08/09/2025	C10	BP SET	PV	DR	24/09/2025	C11	BP SET DRR1	DR	DR	14/10/2025	C12	BP SET - STAIR PLAN	PV	DR	31/10/2025	C13	BP SET DRR2	MD	DR	14/11/2025	C14	BP SET DRR3	MD	DR	20/11/2025	C15	BP SET DRR4	DR	DR	09/02/2026	C16	BP SET DRR5	DR	DR	03/03/2026	<table><tr><th>DRN</th><th>PM</th><th>DATE</th></tr><tr><td>DR</td><td>DR</td><td>08/09/2025</td></tr><tr><td>PV</td><td>DR</td><td>24/09/2025</td></tr><tr><td>DR</td><td>DR</td><td>14/10/2025</td></tr><tr><td>PV</td><td>DR</td><td>31/10/2025</td></tr><tr><td>MD</td><td>DR</td><td>14/11/2025</td></tr><tr><td>MD</td><td>DR</td><td>20/11/2025</td></tr><tr><td>DR</td><td>DR</td><td>09/02/2026</td></tr><tr><td>DR</td><td>DR</td><td>03/03/2026</td></tr></table>	DRN	PM	DATE	DR	DR	08/09/2025	PV	DR	24/09/2025	DR	DR	14/10/2025	PV	DR	31/10/2025	MD	DR	14/11/2025	MD	DR	20/11/2025	DR	DR	09/02/2026	DR	DR	03/03/2026	<table><tr><td>PROJECT</td><td>1 CASUARINA CRESCENT JURIEN BAY SHIRE OF DANDARAGAN</td></tr><tr><td>CLIENT NAME</td><td>JURIEN BAY RESORT PTY LTD, 10 DAVENPORT STREET, KARRINYUP, WA 6018. C/O TOM TIERNEY</td></tr></table>	PROJECT	1 CASUARINA CRESCENT JURIEN BAY SHIRE OF DANDARAGAN	CLIENT NAME	JURIEN BAY RESORT PTY LTD, 10 DAVENPORT STREET, KARRINYUP, WA 6018. C/O TOM TIERNEY	<table><tr><td colspan="2">SHEET</td></tr><tr><td colspan="2">STAIR LAYOUT</td></tr><tr><td>INITIAL DESIGNER YA</td><td>DATE PRINTED 3/03/2026</td></tr><tr><td>PAPER PRINTED @A3</td><td>DRAWING No. 13 of 16</td></tr></table>	SHEET		STAIR LAYOUT		INITIAL DESIGNER YA	DATE PRINTED 3/03/2026	PAPER PRINTED @A3	DRAWING No. 13 of 16
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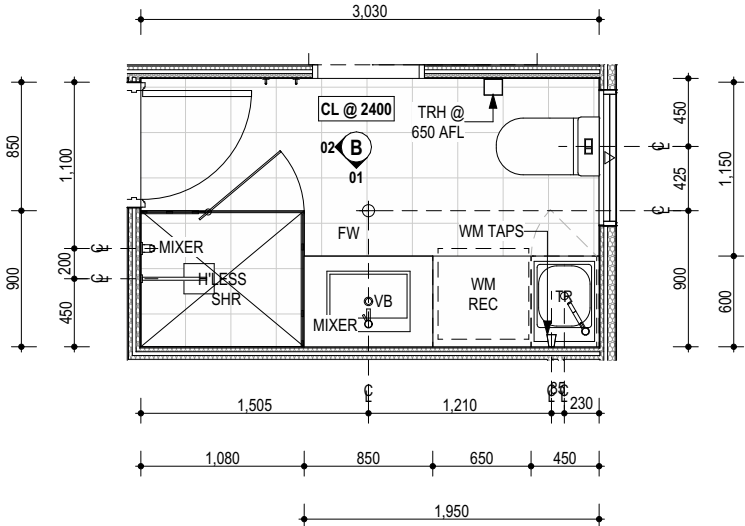
KITCHEN LAYOUT
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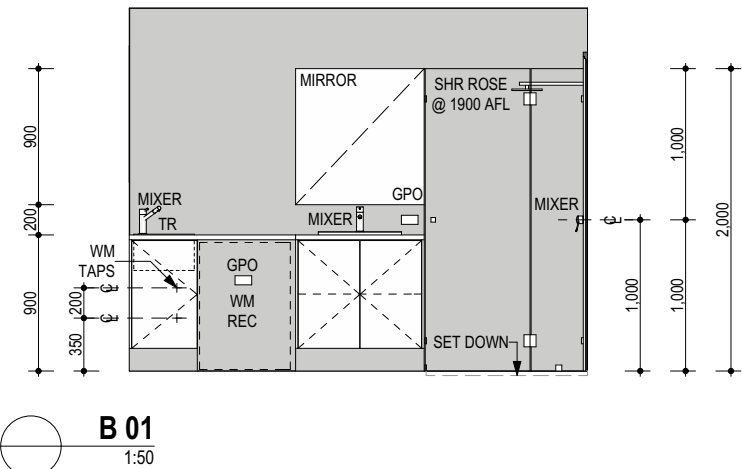
K 01
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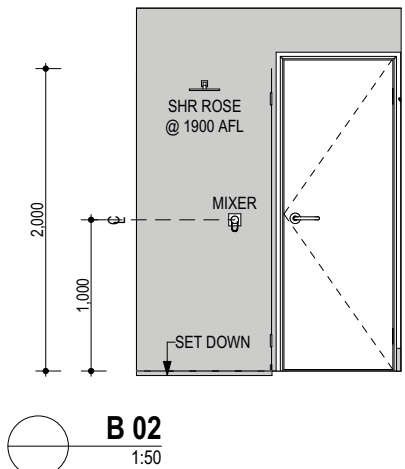
K 02
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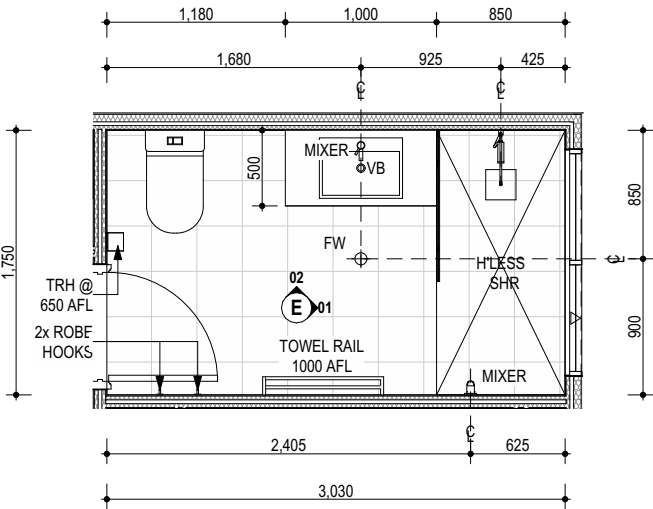
BATH LAYOUT
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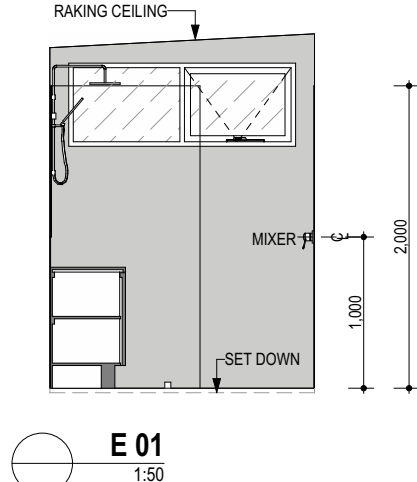
B 01
1:50



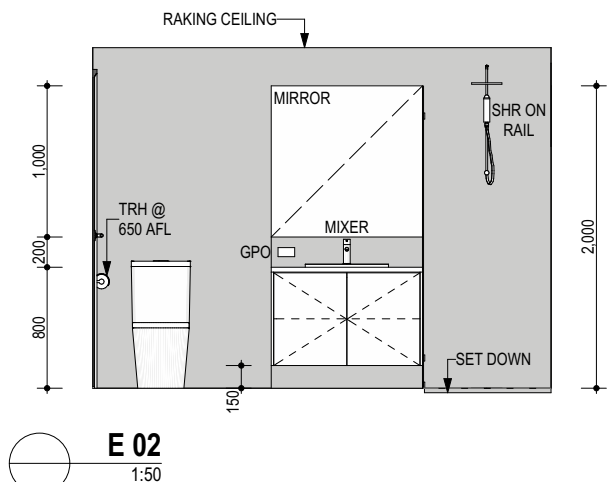
B 02
1:50



ENSUITE LAYOUT
1:50



E 01
1:50



E 02
1:50

CLIENT NOTE:

- LOCATION OF APPLIANCES ARE APPROX. AND MAY ALTER SLIGHTLY TO SUIT CABINETWORK AT THE DISCRETION OF THE CABINETMAKER.
- LOCATION OF JOINTS IN THE BENCHTOPS ARE AT THE DISCRETION OF THE CABINETMAKER.
- DIMENSIONS SHOWN ON PLAN ARE STRUCTURAL SIZES. PLEASE ALLOW AN EXTRA 13mm TO EACH WALL FOR PLASTER AND SET.
- IT IS THE RESPONSIBILITY OF THE OWNERS TO ENSURE THAT APPLIANCE RECESSES AS INDICATED ON THESE PLANS ARE OF ADEQUATE SIZE TO SUIT THEIR APPLIANCES. IF HOWEVER, THE SIZE IS NOT SUITABLE, THE BUILDER MUST BE NOTIFIED PRIOR TO CONSTRUCTION, OTHERWISE NO RESPONSIBILITY CAN BE ACCEPTED FOR INCORRECT SIZES.

TILING NOTE:

- SHADED FILL DENOTES TILING EXTENT. REFER TO ADDENDA FOR LAYING PATTERN.

Ch-02

REV.	ITEMS	DRN	PM	DATE
C09	PRELIM BP SET	DR	DR	08/09/2025
C10	BP SET	PV	DR	24/09/2025
C11	BP SET DRR1	DR	DR	14/10/2025
C12	BP SET - STAIR PLAN	PV	DR	31/10/2025
C13	BP SET DRR2	MD	DR	14/11/2025
C14	BP SET DRR3	MD	DR	20/11/2025
C15	BP SET DRR4	DR	DR	09/02/2026
C16	BP SET DRR5	DR	DR	03/03/2026

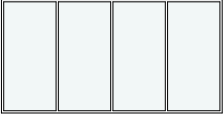
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SHORT STAY 3 BED VILLA

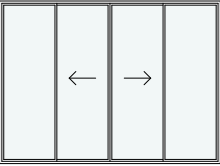
PROJECT	1 CASUARINA CRESCENT JURIEN BAY SHIRE OF DANDARAGAN
CLIENT NAME	JURIEN BAY RESORT PTY LTD, 10 DAVENPORT STREET, KARRINYUP, WA 6018. C/O TOM TIERNEY

SHEET	INTERNAL LAYOUTS	
INITIAL DESIGNER	YA	DATE PRINTED 3/03/2026
PAPER PRINTED	@A3	DRAWING No. 14 of 16

WINDOW SCHEDULE			
ID	W-01	W-02	W-03
QUANTITY	1	1	1
RELATED ZONE NAME	BED 2	BATH / L'DRY	BED 1
HEIGHT	550	900	550
WIDTH	2,000	900	2,000
VIEW FROM EXTERNAL SIDE			
OPENING TYPE	AWNING	AWNING	AWNING
GLAZING	DOUBLE GLAZED; CLEAR	DOUBLE GLAZED; OBSCURED	DOUBLE GLAZED; CLEAR
FRAME	ALUMINUM	ALUMINUM	ALUMINUM

WINDOW SCHEDULE			
ID	W-04	W-05	W-06
QUANTITY	1	1	1
RELATED ZONE NAME		MASTER	
HEIGHT	1,500	950	550
WIDTH	2,920	1,410	2,000
VIEW FROM EXTERNAL SIDE			
OPENING TYPE	FIXED	AWNING	FIXED
GLAZING	DOUBLE GLAZED; CLEAR	DOUBLE GLAZED; CLEAR	DOUBLE GLAZED; CLEAR
FRAME	ALUMINUM	ALUMINUM	ALUMINUM

WINDOW SCHEDULE			
ID	W-07	W-08	W-09
QUANTITY	1	1	1
RELATED ZONE NAME	ENS	MASTER	MASTER
HEIGHT	550	950	950
WIDTH	1,500	1,800	1,800
VIEW FROM EXTERNAL SIDE			
OPENING TYPE	AWNING	FIXED	FIXED
GLAZING	DOUBLE GLAZED; OBSCURED	DOUBLE GLAZED; CLEAR	DOUBLE GLAZED; CLEAR
FRAME	ALUMINUM	ALUMINUM	ALUMINUM

DOOR SCHEDULE	
ID	SD-01
QUANTITY	1
RELATED ZONE NAME	LIVING / DINING / KIT.
HEIGHT	2,150
WIDTH	2,920
VIEW FROM EXTERNAL SIDE	
TYPE	SLIDER
GLAZING	DOUBLE GLAZED; CLEAR
FRAME	ALUMINUM

DOOR SCHEDULE

1:1

WINDOW SCHEDULE

1:1



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C15	BP SET DRR4	DR	DR	09/02/2026
C16	BP SET DRR5	DR	DR	03/03/2026

SHORT STAY 3 BED VILLA

PROJECT

1 CASUARINA CRESCENT
JURIEN BAY
SHIRE OF DANDARAGAN

CLIENT NAME

JURIEN BAY RESORT PTY LTD, 10 DAVENPORT STREET,
KARRINYUP, WA 6018. C/O TOM TIERNEY

SHEET

WINDOW & DOOR SCHEDULE

INITIAL DESIGNER

YA

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SHORT STAY 3 BED VILLA

PROJECT

**1 CASUARINA CRESCENT
JURIEN BAY
SHIRE OF DANDARAGAN**

CLIENT NAME
JURIEN BAY RESORT PTY LTD, 10 DAVENPORT STREET,
KARRINYUP, WA 6018. C/O TOM TIERNEY

SHEET

3D PERSPECTIVES

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